



**COLORADO CITY METROPOLITAN DISTRICT
PUBLIC NOTICE
BOARD OF DIRECTORS STUDY SESSION**

A study session for the Board of Directors of the Colorado City Metropolitan District will be held Tuesday, May 11, 2021 beginning at 6:00 p.m.

1. Resolution 07-2021 Transfer of CTF for Golf Course
2. Proposal for the playground in Applewood
3. Community Garden with playground
4. Resolution 06-2021 Transfer of property to greenbelt Applewood
5. Request for using CTF funds for swing sets

BOARD OF DIRECTORS REGULAR MEETING

A regular meeting of the Board of Directors of the Colorado City Metropolitan District will be held Tuesday, May 11, 2021 beginning at 6:15 p.m.

1. CALL TO ORDER.
2. PLEDGE OF ALLEGIANCE.
3. MOMENT OF SILENT REFLECTION.
4. QUORUM CHECK.
5. APPROVAL OF AGENDA.
6. APPROVAL OF MINUTES.

Study Session	April 27, 2021
Regular Meeting	April 27, 2021

7. BILLS PAYABLE.
8. FINANCIAL REPORT.
9. OPERATIONAL REPORT.
10. READING BY CHAIRPERSON OF THE STATEMENT OF CONDUCT AND DEMEANOR.
11. CITIZENS INPUT.
12. ATTORNEYS REPORT.

13. AGENDA ITEMS:

Resolution 06-2021	Discussion/Action
Resolution 07-2021	Discussion/Action
Request to use CTF funds for upgrading CCMD swing set	Discussion/Action

14. OLD BUSINESS. Covenants Lawyer / Security cameras proposal /Community clean up

15. NEW BUSINESS:

16. CCACC

A. Reviews form CCAAC

- | | |
|---------------------------|--------|
| 1. 4721 St Vrain | House |
| 2. 4731 St Vrain | House |
| 3. 4736 St Vrain | House |
| 4. 4757 St. Viran | House |
| 5. 4731 E. Jefferson | Fence |
| 6. 2628 Julianna Road | House |
| 7. 5300 Black Kettle | House |
| 8. 5809 Lake Beckwith Dr. | Shed |
| 9. 4939 St Vrain | Garage |
| 10. 4419 W Jefferson | Fence |
| 11 1926 Beverly Drive | shed |

B. Actions

spread sheet and motion to send out letters from spread sheets

17. CORRESPONDENCE.

18. EXECUTIVE SESSION:

19. ADJOURNMENT.

The meeting will be held at the Administration Building located at 4497 Bent Brothers Blvd., Colorado City, CO. 81019. Alternate location if so needed will be at the Recreation Center located at 5000 Cuerno Verde, Colorado City, CO. 81019.

**Colorado City Metropolitan District
4497 Bent brothers Blvd
PO Box 20229
Colorado City, Colorado 81019**

Posted May 7, 2021

James Eccher is inviting you to a scheduled Zoom meeting.

Topic: Colorado City Metropolitan District Study/Meeting May11, 2021

Time: May 11, 2021 06:00 PM Mountain Time (US and Canada)

Join Zoom Meeting

<https://us02web.zoom.us/j/85079510795?pwd=TEViWkRabTN4TG54L2tHT2ovNmwrzd09>

Meeting ID: 850 7951 0795

Passcode: 822961

One tap mobile

+13462487799,,85079510795#,,,,*822961# US (Houston)

+16699009128,,85079510795#,,,,*822961# US (San Jose)

Dial by your location

+1 346 248 7799 US (Houston)

+1 669 900 9128 US (San Jose)

+1 253 215 8782 US (Tacoma)

+1 312 626 6799 US (Chicago)

+1 646 558 8656 US (New York)

+1 301 715 8592 US (Washington DC)

Meeting ID: 850 7951 0795

Passcode: 822961

Find your local number: <https://us02web.zoom.us/j/kc6MIPrOIJ>

RESOLUTION NO. 07-2021

**COLORADO CITY METROPOLITAN DISTRICT
A RESOLUTION TO TRANSFER APPROPRIATED SUMS OF MONEY FROM ONE
FUND TO ANOTHER FUND
(Pursuant to Section 29-1-109, C.R.S.)**

WHEREAS, The Board of Directors Approve the interfund transfer from the Conservation Trust Fund (CTF) to the Colorado City Metropolitan District (CCMD) General Fund.

AND WHEREAS, the funds will be used to pay the debt created for the purchase of Golf Carts and equipment for the Holly Dot Golf Course.

AND WHEREAS, the funds were appropriated by the Pueblo Board of County Commissioners for Equipment designated for Holly Dot Golf Course.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF DIRECTORS OF THE COLORADO CITY METROPOLITAN DISTRICT,

Section 1: That the sum of \$127,886.17 is hereby transferred From the Conservation Trust Fund (CTF) to the CCMD General Fund.

PASSED AND APPROVED THIS 11TH DAY OF May, 2021

COLORADO CITY METROPOLITAN DISTRICT

By: _____
Neil Elliot, Chairperson
Board of Directors

ATTEST:

Greg Collins
Secretary

Colorado City Park

Date: April 27, 2021
 From: Brandon Smith | (303) 601-7245 | Brandon@AtoZRec.com
 Josh Briggs
 Phone: (719) 676-3059
 Email: colocityrec@ghvalley.net
 Project Address: 4497 Bent Brothers Blvd
 City/State/Zip: Colorado City, CO 81019



QTY	PART	DESCRIPTION	UNIT	AMOUNT
Engineered Wood Fiber				
3264	sq/ft	Fabric: Purchase, delivery & installation of fabric and pins into playground	\$0.25	\$816.00
164	cy	EWf: Purchase, delivery & installation of EWf into playground with blower truck at 12" depth	\$42.50	<u>\$6,970.00</u>
Total Engineered Wood Fiber				\$7,786.00
Installation				
1	install	Burke Play equipment (136-101619-1) to include ages 5-12 play structure, spring rider & swing set		\$11,895.00
58	borders	Installation of plastic 4'-4" x 12" x 4" borders, price per 4' border	\$13.50	\$783.00
1	travel	mobilization & travel costs to Colorado City		<u>\$3,995.00</u>
Total Installation				\$16,673.00
Grand Total				\$24,459.00

Shipping Lead Times listed are typical, but may be longer during peak season.

- Note:** 3rd Party Systems used for Billing (i.e.: Textura, or other), Insurance Verification, Vendor Management (i.e.: Veroot, or other), or any other function will incur additional fees which will be applied to your final invoice.
- Note:** If rock is encountered during installation, additional fees may apply but will be approved prior to proceeding. Good access is required for a tractor or any other equipment necessary. Playground surfacing should be installed after all equipment is installed or additional charges will apply. Installation prices assume level grade for site, and site prep by others. If installation is quoted, the unloading off the delivery truck is included as well as the installation of the equipment. Unless specifically stated above, pricing does not include security, perimeter/security fencing, irrigation revisions, landscape repairs, etc. Installer to provide Insurance Overview upon project approval. Any permits, licenses, or inspections required by your jurisdiction are not included and are the responsibility of the owner. Prevailing Wages/Certified Payroll are not included unless specifically stated above.
- Note:** A Copy of A to Z Recreation's and our Installer's Standard Insurance Coverage may be furnished upon request. Additional insurance required above and beyond these standard coverages must be reviewed prior to project approval and will incur additional fees which will be applied to your final invoice.
- Note:** Engineered Wood Fiber Costs are predicated on the ability to deliver product with 53' walking floor semi-trailers, and are for single drops. Additional drops will be \$100 each.

Prepared By: Brandon Smith

We have moved to an online signature process. When ready to proceed with this order, please contact your sales associate and a DocuSign link will be sent to you for signature.

Purchase Information:

Prices are good for 30 days. Down payment and Color Selections, if required, must be received at time of order to hold pricing.
 Premier Polysteel Prices are good for 14 days. Down payment and Color Selections, if required, must be received at time of order to hold pricing.

Terms for Equipment are 50% Down, Net 30 from Date of Shipment.

Terms for Installation are Net 30 from Date of Completion, with prior credit approval.

Colorado Orders: Required Sales and Use Tax will be added to your invoice in addition to the amount approved above. If you are Tax Exempt, please provide a copy of your tax exempt certificate when placing order. Due to fuel price changes, freight is subject to change without notice. Contact your consultant for updated quotations.

Please Note: Interest accrued at 18% annually (1.5% monthly) on any outstanding balance may be applied to invoices not paid by due date (excludes invoices for down payments - work will not begin until down payment has been received). Customer agrees to pay all costs incurred in the collection of this account, including accrued interest, and all fees and costs of collection, with or without suit, including reasonable attorney's fees and other costs.

Price assumes truck access to work area. Price does not include permits or inspections unless otherwise stated. **Playco Park Builders Inc.** will not be responsible for damage to unmarked utilities or irrigation lines. Price does not include repairs to landscape due to completion of scope of work or access. Price does not include prevailing wages or Certified Payroll unless otherwise stated. Price is good for 90 days. Price assumes all footing spoils to remain on site unless otherwise stated. Price includes storage of equipment at **Playco Park Builders Inc's** yard for up to 30 days, additional storage may be subject to additional charges. Any work or material such as prep work or bolts not included on this form will not be covered by this price. Any additional charges due to bad digging conditions may be charged. Price assumes all work to be done at one time unless otherwise stated, additional mobilizations will have additional charges. Price assumes the complete scope of work. Additional insurances will be an additional charge. If you agree to the price and the terms on this estimate in their entirety please sign and return this form to make it a legal work order. Terms are net 30, interest accrued at 18% annually on late invoices, and to pay all costs incurred in the collection of this account, including accrued interest, and all other legal fees and costs of collection, with or without suit, including reasonable attorney's fees and other costs.

Thank you for your consideration of our products!

INFORMATION
MINIMUM FALL ZONE
SURFACED WITH
RESILIENT MATERIAL
AREA

2248 SQ.FT.

PERIMETER

333 FT.

STRUCTURE SIZE

65' 1" x 47' 3"

STRUCTURE IS DESIGNED
FOR CHILDREN AGES:

- 6-23 MONTH OLDS
- 2-5 YEAR OLDS
- 5-12 YEAR OLDS
- 13 + YEAR OLDS



Registered
to ISO 9001

Registered
to ISO 14001

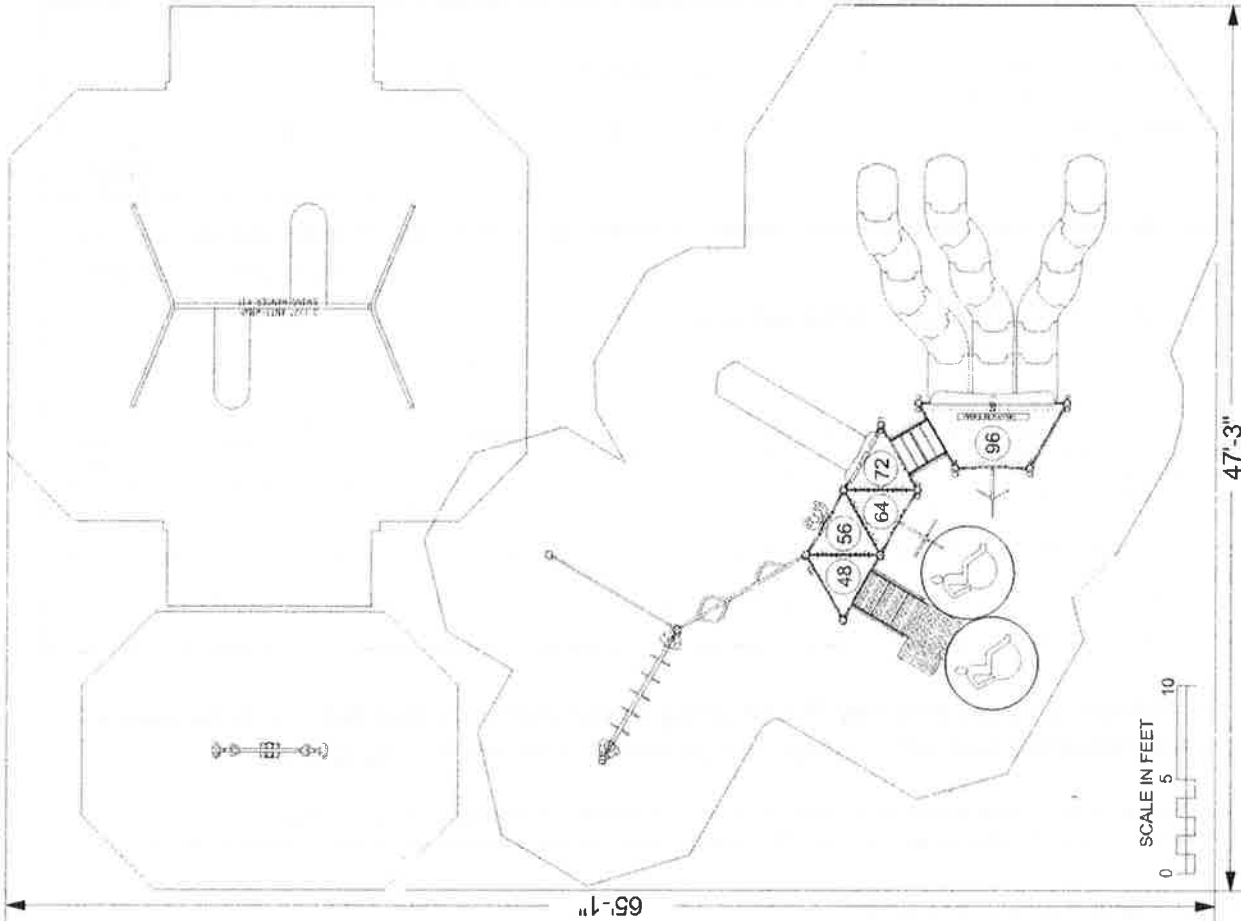


To verify product certification,
visit www.ipema.org

The play components identified
in this plan are IPEMA
certified. The use and layout of
these components conform to the
requirements of ASTM F1487.
To verify product certification,
visit www.ipema.org

The space requirements shown
here are to ASTM standards.
Requirements for other standards
may be different.

The use and layout of play
components identified in this plan
conform to the CPSC guidelines.
U.S. CPSC recommends the
separation of age groups in
playground layouts.



WARNING!

ACCESSIBLE SAFETY SURFACING MATERIAL IS REQUIRED BENEATH
AND AROUND THIS EQUIPMENT
FOR SLIDE FALL ZONE SURFACING AREA SEE CPSC's Handbook for
Public Playground Safety
PLATFORM HEIGHTS ARE IN INCHES ABOVE RESILIENT MATERIAL

ADA ACCESSIBILITY GUIDELINE (ADAAG CONFORMANCE)

NUMBER OF PLAY EVENTS	11		
NUMBER OF ELEVATED PLAY EVENTS	6	PROVIDED 0	REQD. 0
NUMBER OF ELEVATED PLAY EVENTS ACCESSIBLE BY RAMP	6	PROVIDED 6	REQD. 3
NUMBER OF ELEVATED PLAY EVENTS ACCESSIBLE BY TRANSFER SYSTEM	6	PROV' 5	REQD. 2
NUMBER OF ELEVATED PLAY EVENTS ACCESSIBLE BY RAMP OR TRANSFER SYSTEM	6	PRC 1	REQD. 2
NUMBER OF GROUND LEVEL PLAY EVENTS			
NUMBER OF TYPES OF GROUND LEVEL PLAY EVENTS			

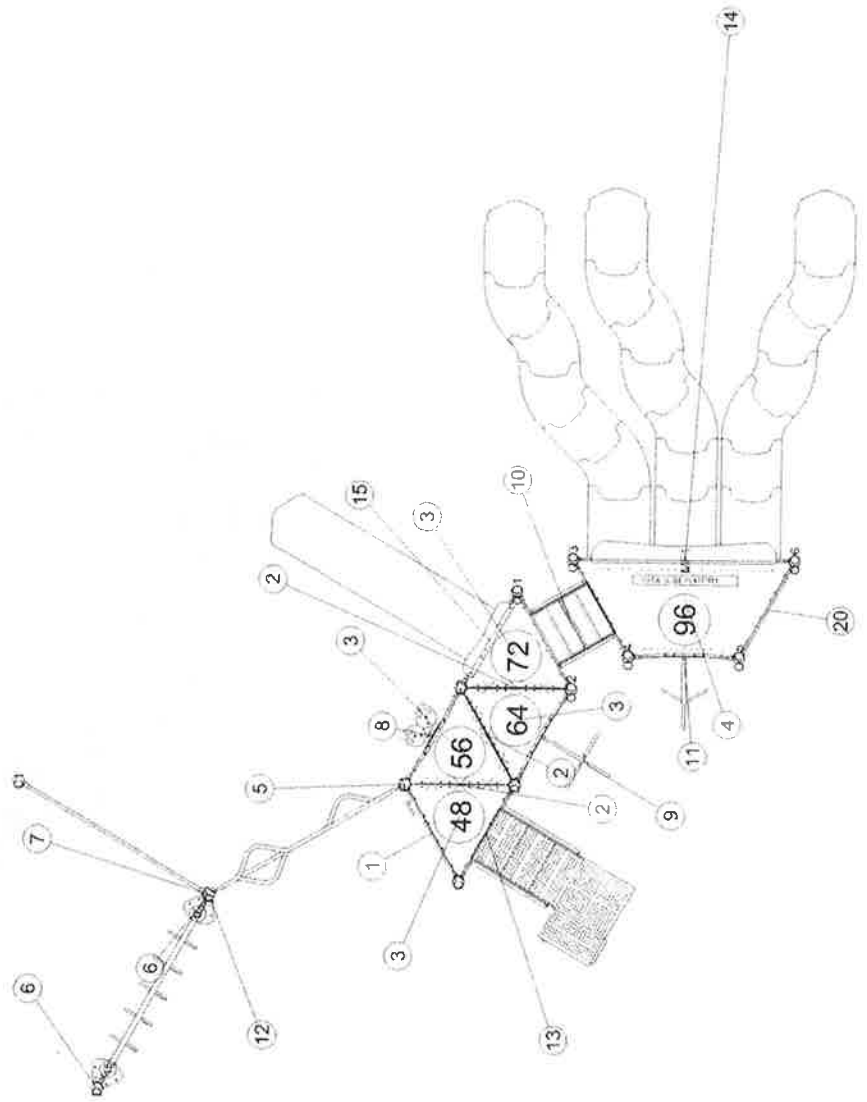
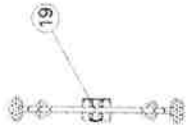
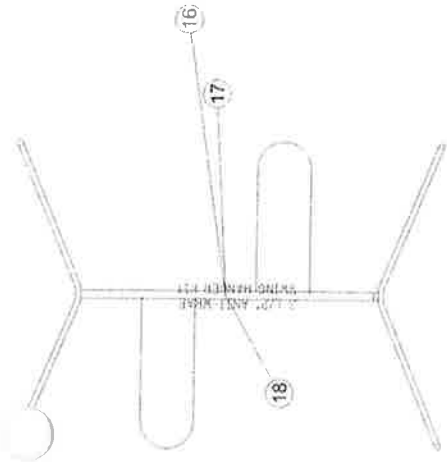


SERIES: Basics, Intensity, Nucleus
SITE PLAN
DRAWN BY: Cara Osborne

Colorado City GOCO
Applewood & Blue Spruce
Colorado City, CO 81019

June 20, 2011
AtoZ Recreation
136-101619-3

ITEM	COMP	DESCRIPTION
1	270-0001	OFFSET CLOSURE
2	270-0050	8" CLOSURE PLATE
3	270-0129	TRIANGLE PLATFORM
4	270-0236	VIPER SLIDE HALF HEX PLATFO
5	370-0004	POWER PIPES CLIMBER
6	370-0027	LAUNCH PAD
7	370-0033	ODYSSEY POST LINK DOUBLE
8	370-0123	LEAF CLIMBER 56"
9	370-0447	LINKING RING CLIMBER 56"-72"
10	370-0467	24" TRANSITION STAIR W/BARR
11	370-0556	ATOM CLIMBER 80"-96"
12	370-0710	TRIANGLE TRAVERSE
13	370-0720	TRANSFER STATION HANDRAIL
14	470-0590	VIPER III SSS 96
15	470-0753	VELO SLIDE 64" 72"
16	550-0025	TRAD SWING 3 1/2 2-WAY 8R
17	550-0112	BELT SEAT 8 PAIR STD CHAIN
18	550-0146	SWING HANGER ANTI-WRAP 3
19	570-0054	STANDING ROCKER
20	570-0394	PIPE WALL



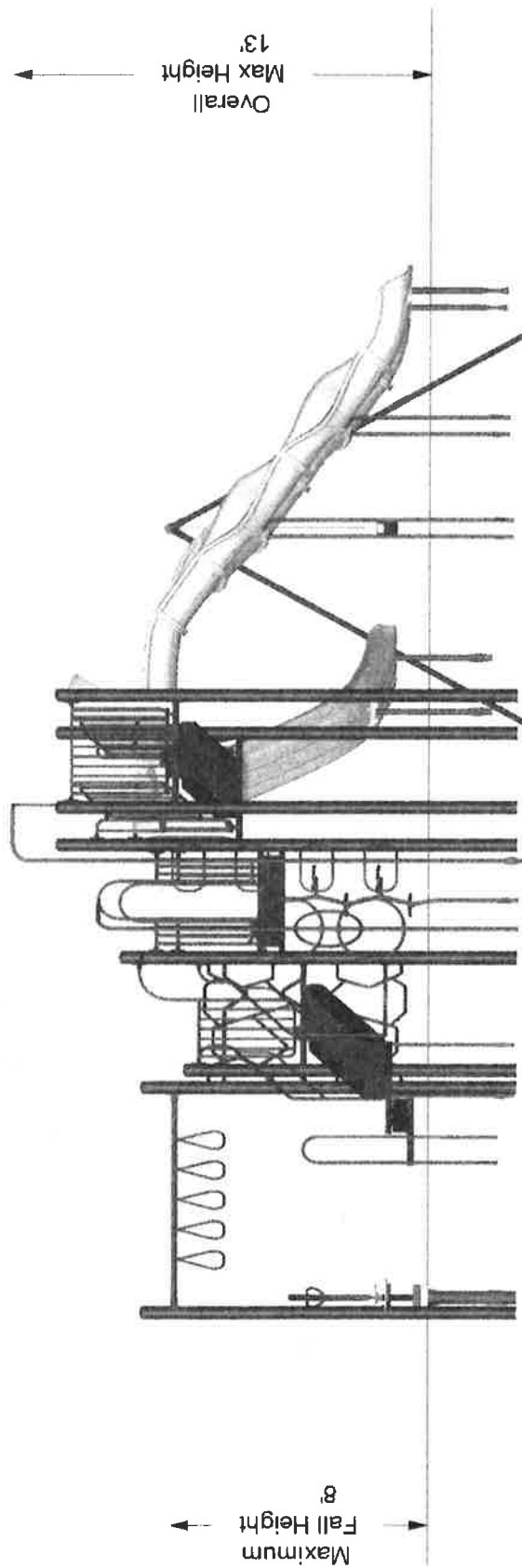
Burke

SERIES: Basics, Intensity, Nucleus
 COMPONENT PLAN
 DRAWN BY: Cara Osborne

Colorado City GOCO
 Applewood & Blue Spruce
 Colorado City, CO 81019

June 20, 2018

AtoZ Recreation
 136-101619-3



The protective surfacing for this design must accommodate the vertical fall height.

Burke

SERIES: Basics, Intensity, Nucleus
 ELEVATION PLAN
 DRAWN BY: Cara Osborne

Colorado City GOCO
 Applewood & Blue Spruce
 Colorado City, CO 81019

June 20, 201
 AtoZ Recreation
 136-101619-3

PlaySoft™

• Engineered Wood Fiber •

PlaySoft™ is a 100% virgin wood fiber manufactured to meet the newest standards for playground materials. It is certified through the International Play Equipment Manufacturers Association (IPEMA) to assure that it consistently meets ASTM specifications for playground surfacing; F1292 Impact Attenuation; F2075 Tramp Metal Testing; F1951 Wheel Chair Access. PlaySoft™ carries a 10 year limited warranty upon proper installation and maintenance.



Advantages

- > Soft (Shock absorbent)
- > Certified
- > All Natural
- > Aesthetically Pleasing
- > Low Cost
- > Simple to Maintain

Application

Information Based on CPSC critical height testing. The National Program for Playground Safety recommends that in general, 12" of uncompressed loose-fill material be used for equipment up to 8' in height.

Shipping

We ship throughout the Midwest and Western United States.



To verify product certification, visit www.ipema.org



To verify product certification, visit www.ipema.org

Also providing: Drainage Systems, Compacted Base Materials, Drainage Aggregates and Geotextile Fabrics.

playsoftmaterial.com



Contact your local sales representative:



play outside

Mark in the Shade

Brandon Smith
President

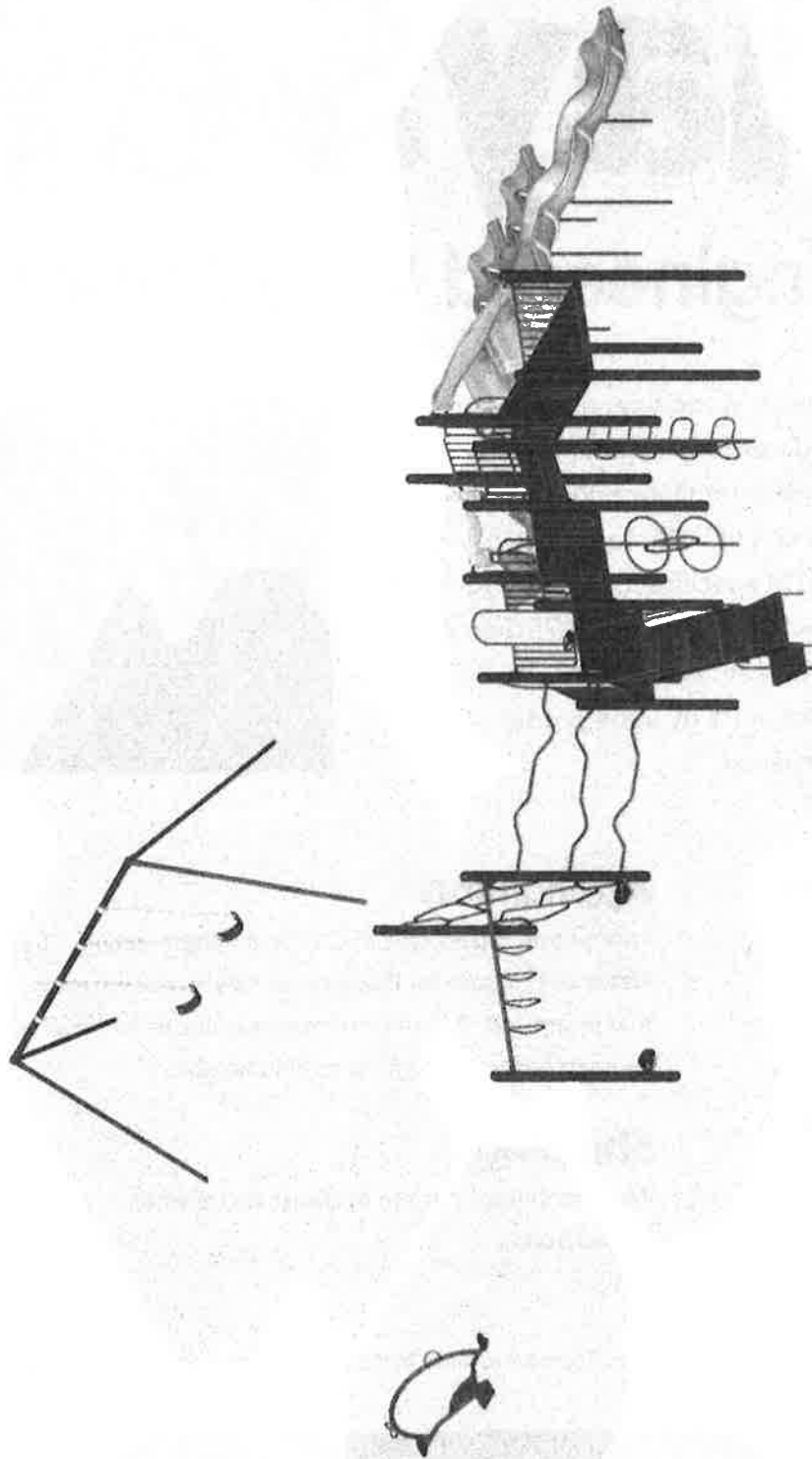
103.60 2245 Direct

303.970.1199 Office

814.744.8400 Inmate

814.744.8400 Inmate

www.markintheshade.com



Burke

June 20, 2018

SERIES: Basics, Intensity, Nucleus

Colorado City GOCO

AtoZ Recreation

ISOMETRIC PLAN

Applewood & Blue Spruce

136-101619-3

DRAWN BY: Cara Osborne

Colorado City, CO 81019

BCI Burke Company, LLC PO Box 549 Fond du Lac, Wisconsin 54936-0549 Telephone 920-921-9220

**COLORADO CITY METROPOLITAN DISTRICT
RESOLUTION NO. 6-2021**

**RESOLUTION FOR CCMD PROPERTY INCLUSION TO PRESENT GREEN BELT
FOR A LOCAL PARKS AND OUTDOOR RECREATION**

RECITALS

WHEREAS, the Colorado City Metropolitan District (“District”) is a special district and political subdivision of the State of Colorado, acting pursuant to certain powers set forth in the Colorado Special District Act, §§ 32-1-101, *et seq.*, C.R.S.; and

WHEREAS, the Colorado City Metropolitan District supports the enlargement the Applewood Play Ground. The Colorado City Metropolitan District supports the completion of the project.

WHEREAS, the Colorado City Metropolitan District is using the property for the benefit of the community and the betterment of the Applewood Playground.

WHEREAS, Parcels 4617320011 and 4617320012 will be part of the greenbelt parcel 4617320998 for the use of the community and enlargement of the Applewood Playground and Park.

WHEREAS, the parcels can be used in the manner to support the park as to placing of park equipment and a designated parking area for park, so the park can be a safe environment for community.

NOW, THEREFORE, BE IT HEREBY RESOLVED BY THE COLORADO CITY METROPOLITAN DISTRICT BOARD OF DIRECTORS THAT:

- Section 1: The Board of Directors of the Colorado City Metropolitan District strongly supports the inclusion of the parcel 4617320011 and 4617320012 to the green belt area parcel 4617320998.
- Section 2: The Board of Directors of the Colorado City Metropolitan District strongly supports the completion of the Applewood Playground project.
- Section 3: The Board of Directors of the Colorado City Metropolitan District authorizes the use of the property to be for the benefit of the community.
- Section 4: The Colorado City Metropolitan District Board of Directors hereby authorizes the use of the property to promote a safe and beneficial use for the community.
- Section 5: This resolution to be in full force and effect from and after its passage and approval.

Adopted, this 11th day of May, 2021

Neil Elliot, Chairperson
Board of Directors

Attest:

Greg Collins, Secretary

COLORADO CITY METROPOLITAN DISTRICT
RECORD OF PROCEEDINGS
BOARD OF DIRECTORS STUDY SESSION

A study session of the Board of Directors of the Colorado City Metropolitan District was held Tuesday, April 27, 2021 at 6:00 p.m. Called to order by Chairman Neil Elliott.

1. Sewer plant monitors: City manager has equipment resolutions for security cameras at the sewer plant.
2. Duel well update: 17-18 people looked at the bid. One person has an interest in bidding. He wants to discuss monetary at \$61,000 and to have a visual of what he is looking at. Bid closed April 15. City manager James Eccher asks the board to extend the bidding time to give the interested party time to make his decision, at which point city board member Bob Cook declines the suggestion.
3. Gravel pit lease:
4. Grant Writer: Still in discussion on where and how to locate a qualified grant writer that will fit into the CCMD budget.
5. Community clean up: To be discussed during the regular meeting.
6. CCAAC Reimbursement: Conversation of a stipend or utility vehicle use for the CCAAC volunteers.
7. CCAAC issues: To be discussed in meeting.

COLORADO CITY METROPOLITAN DISTRICT

Neil Elliot, Chairperson

ATTEST:

Harry Hochstetler, Treasurer

Approved this 27th day of April, 2021.

These minutes are not verbatim to the meeting and should not be considered a complete record of all discussions during the meeting. For complete proceedings and statements, please refer to the video or audio recording of the meeting.

Report Criteria:

Report type: GL detail
Check Type = {<->} "Adjustment"

GL Period	Check Issue Date	Check Number	Payee	Description	Invoice GL Account	Invoice Amount	Check Amount
34412							
04/21	04/14/2021	34412	Crowne Plaza Denver Airport	CRWA Conference Lodging/WTP	02-0100-6322	456.00	456.00
Total 34412:							456.00
34413							
04/21	04/19/2021	34413	A Squared Instruments and Con	Upgrades,Backwash Timing/WTP	02-0100-7122	2,000.00	2,000.00
Total 34413:							2,000.00
34414							
04/21	04/19/2021	34414	Christy Gookin	Cleaning-Mar./Adm	01-0100-7122	150.00	150.00
Total 34414:							150.00
34415							
04/21	04/19/2021	34415	Colorado Natural Gas, Inc.	Natural Gas-WWTP	03-0100-7191	164.26	164.26
04/21	04/19/2021	34415	Colorado Natural Gas, Inc.	Natural Gas-WTP	02-0100-7191	1,713.43	1,713.43
04/21	04/19/2021	34415	Colorado Natural Gas, Inc.	Natural Gas-W&S Shop	02-0100-7191	335.73	335.73
04/21	04/19/2021	34415	Colorado Natural Gas, Inc.	Natural Gas-W&S Shop	03-0100-7191	335.73	335.73
04/21	04/19/2021	34415	Colorado Natural Gas, Inc.	Natural Gas-Rec Ctr B	01-0203-7191	131.42	131.42
04/21	04/19/2021	34415	Colorado Natural Gas, Inc.	Natural Gas-Rec Ctr A	01-0207-7191	181.36	181.36
04/21	04/19/2021	34415	Colorado Natural Gas, Inc.	Natural Gas-Pro Shop	01-4000-7191	994.15	994.15
04/21	04/19/2021	34415	Colorado Natural Gas, Inc.	Natural Gas-Pool	01-0207-7191	51.27	51.27
04/21	04/19/2021	34415	Colorado Natural Gas, Inc.	Natural Gas-GCM	01-4001-7191	268.07	268.07
04/21	04/19/2021	34415	Colorado Natural Gas, Inc.	Natural Gas-Cold Springs	02-0100-7191	320.62	320.62
04/21	04/19/2021	34415	Colorado Natural Gas, Inc.	Natural Gas-Adm	01-0100-7191	382.39	382.39
Total 34415:							4,878.43
34416							
04/21	04/19/2021	34416	DPC Industries, Inc.	Chlorine Tank Rental/WTP	02-0100-7150	150.00	150.00
Total 34416:							150.00
34417							
04/21	04/19/2021	34417	Executech Utah, Inc.	Sophos,Acronis Server Backup/Adm	01-0100-7122	128.45	128.45
04/21	04/19/2021	34417	Executech Utah, Inc.	Labor-Backup,Reboot Servers/Adm	01-0100-7122	350.00	350.00
Total 34417:							478.45
34418							
04/21	04/19/2021	34418	FEDEX	Transport Samples/WWTP	03-0100-7150	28.41	28.41
Total 34418:							28.41
34419							
04/21	04/19/2021	34419	Mastercard	Baseball Bases/P&R	01-0408-7150	192.18	192.18
04/21	04/19/2021	34419	Mastercard	Baseball Supplies/P&R	01-0408-7150	60.38	60.38
04/21	04/19/2021	34419	Mastercard	Misc. Supplies-Equip/P&R	01-0208-7184	236.54	236.54
04/21	04/19/2021	34419	Mastercard	CRWA Conference/WTP	02-0100-6320	310.00	310.00
04/21	04/19/2021	34419	Mastercard	Samples/WWTP	03-0100-7150	5.18	5.18
04/21	04/19/2021	34419	Mastercard	Zoom Monthly Meeting/Adm	01-0100-7122	29.99	29.99

GL Period	Check Issue Date	Check Number	Payee	Description	Invoice GL Account	Invoice Amount	Check Amount	
04/21	04/19/2021	34419	Mastercard	Light Fixtures-Park/P&R	01-0208-7186	159.98	159.98	
04/21	04/19/2021	34419	Mastercard	Youth Baseballs/P&R	01-0408-7150	92.44	92.44	
04/21	04/19/2021	34419	Mastercard	Transmission Parts/P&R	01-0208-7184	17.37	17.37	
04/21	04/19/2021	34419	Mastercard	Janitorial Supplies/P&R	01-0208-7155	25.98	25.98	
04/21	04/19/2021	34419	Mastercard	T-Ball Baseballs/P&R	01-0408-7150	51.34	51.34	
04/21	04/19/2021	34419	Mastercard	Pressure Washer Pump/P&R	01-0208-7184	13.99	13.99	
04/21	04/19/2021	34419	Mastercard	Parts-Meters, W&S Bond/WTP	02-0000-1815	805.35	805.35	
04/21	04/19/2021	34419	Mastercard	Misc. Equip Parts/P&R	01-0208-7184	29.98	29.98	
Total 34419:								2,030.70
34420								
04/21	04/19/2021	34420	MetLife Small Business Center	Dental/Vision-May	01-0000-2230	300.46	300.46	
Total 34420:								300.46
34421								
04/21	04/19/2021	34421	Moses, Wittemeyer, Harrison, P.	Legal Fees-Mar /CCAAC	01-0100-7123	2,028.00	2,028.00	
04/21	04/19/2021	34421	Moses, Wittemeyer, Harrison, P.	Legal Fees-Mar./Adm	01-0100-7141	598.00	598.00	
04/21	04/19/2021	34421	Moses, Wittemeyer, Harrison, P.	Legal Fees-Mar./WTP	02-0100-7141	2,612.50	2,612.50	
Total 34421:								5,238.50
34422								
04/21	04/19/2021	34422	PSHCG	Health Ins. - May	01-0000-2230	2,112.75	2,112.75	
04/21	04/19/2021	34422	PSHCG	Health Ins. - May	02-0000-2230	2,446.36	2,446.36	
04/21	04/19/2021	34422	PSHCG	Health Ins. - May	03-0000-2230	2,112.76	2,112.76	
04/21	04/19/2021	34422	PSHCG	Health Ins. - May	01-0100-6310	275.34	275.34	
04/21	04/19/2021	34422	PSHCG	Health Ins. - May	02-0100-6310	387.96	387.96	
04/21	04/19/2021	34422	PSHCG	Health Ins. - May	03-0100-6310	477.69	477.69	
Total 34422:								7,812.86
34423								
04/21	04/19/2021	34423	Sprint	Telephone/WTP	02-0100-7193	107.16	107.16	
04/21	04/19/2021	34423	Sprint	Telephone/WWTP	03-0100-7193	87.56	87.56	
04/21	04/19/2021	34423	Sprint	Telephone/P&R	01-0208-7193	47.45	47.45	
04/21	04/19/2021	34423	Sprint	Telephone/GC	01-4000-7193	47.45	47.45	
Total 34423:								289.62
34424								
04/21	04/19/2021	34424	The Home Depot Pro	Janitorial Supplies/P&R	01-0208-7155	491.87	491.87	
Total 34424:								491.87
34425								
04/21	04/19/2021	34425	Timber Line Electric & Control	Svs Call-Chlorine Dioxide/WTP	02-0100-7122	1,120.10	1,120.10	
Total 34425:								1,120.10
34426								
04/21	04/19/2021	34426	ULine	Tabletop Sealer, Tubing/WTP	02-0100-7150	298.30	298.30	
Total 34426:								298.30

GL Period	Check Issue Date	Check Number	Payee	Description	Invoice GL Account	Invoice Amount	Check Amount
34427							
04/21	04/19/2021	34427	Wells Fargo Financial Leasing	Jacobsen Mowers Lease-May/GCM	01-4001-7730	565.29	565.29
Total 34427:							565.29
34428							
05/21	05/05/2021	34428	Donald Anzlover (2)	Reimburse Medical Flexible	01-0000-2231	150.00	150.00
Total 34428:							150.00
34429							
05/21	05/05/2021	34429	Yvonne Barron (2)	Reimburse Medical Flexible	01-0000-2231	132.99	132.99
Total 34429:							132.99
34430							
05/21	05/07/2021	34430	A Squared Instruments and Con	Svs Call-E-Stop,CL2 Meter/WTP	02-0100-7122	1,800.00	1,800.00
05/21	05/07/2021	34430	A Squared Instruments and Con	Svs Call - backflows,CIP/WTP	02-0100-7122	1,400.00	1,400.00
Total 34430:							3,200.00
34431							
05/21	05/07/2021	34431	Acorn Petroleum, Inc	Fuel/Adm	01-0100-7151	54.84	54.84
05/21	05/07/2021	34431	Acorn Petroleum, Inc	Fuel/P&R	01-0208-7151	382.56	382.56
05/21	05/07/2021	34431	Acorn Petroleum, Inc	Fuel/Roads	01-6000-7151	300.63	300.63
05/21	05/07/2021	34431	Acorn Petroleum, Inc	Fuel/WTP	02-0100-7151	518.70	518.70
05/21	05/07/2021	34431	Acorn Petroleum, Inc	Fuel/WWTP	03-0100-7151	381.94	381.94
05/21	05/07/2021	34431	Acorn Petroleum, Inc	Fuel/GCM	01-4001-7151	474.64	474.64
05/21	05/07/2021	34431	Acorn Petroleum, Inc	Fuel/Adm	01-0100-7151	33.98	33.98
05/21	05/07/2021	34431	Acorn Petroleum, Inc	Fuel/P&R	01-0208-7151	302.01	302.01
05/21	05/07/2021	34431	Acorn Petroleum, Inc	Fuel/WTP	02-0100-7151	435.11	435.11
05/21	05/07/2021	34431	Acorn Petroleum, Inc	Fuel/WWTP	03-0100-7151	334.10	334.10
05/21	05/07/2021	34431	Acorn Petroleum, Inc	Fuel/Roads	01-6000-7151	235.00	235.00
Total 34431:							3,453.51
34432							
05/21	05/07/2021	34432	Ayden Gillund	Telephone Reimbursement/WTP	02-0100-7193	15.00	15.00
05/21	05/07/2021	34432	Ayden Gillund	Telephone Reimbursement/WWTP	03-0100-7193	15.00	15.00
Total 34432:							30.00
34433							
05/21	05/07/2021	34433	BH2 Land Surveying LLC	Stake Adams Place Rd/Roads	01-6000-7122	305.00	305.00
Total 34433:							305.00
34434							
05/21	05/07/2021	34434	Christoffer Robinson	Telephone Reimbursement	02-0100-7193	15.00	15.00
05/21	05/07/2021	34434	Christoffer Robinson	Telephone Reimbursement	03-0100-7193	15.00	15.00
Total 34434:							30.00
34435							
05/21	05/07/2021	34435	Christy Gookin	Cleaning-April/Adm	01-0100-7122	150.00	150.00

GL Period	Check Issue Date	Check Number	Payee	Description	Invoice GL Account	Invoice Amount	Check Amount
Total 34435:							150.00
34436							
05/21	05/07/2021	34436	Cintas (1)	First Aid Supplies/GCM	01-4001-7150	88.34	88.34
Total 34436:							88.34
34437							
05/21	05/07/2021	34437	Cintas Corporation #562	Janitorial Svs/GCM	01-4001-7122	43.34	43.34
05/21	05/07/2021	34437	Cintas Corporation #562	Janitorial Svs/GCM	01-4001-7122	43.34	43.34
Total 34437:							86.68
34438							
05/21	05/07/2021	34438	Civil Air Patrol	Advertising/GC	01-4000-7110	45.00	45.00
Total 34438:							45.00
34439							
05/21	05/07/2021	34439	Colorado City Metropolitan Dist	4497 Bent Bros./Adm	01-0100-7192	58.31	58.31
05/21	05/07/2021	34439	Colorado City Metropolitan Dist	Gazebo/P&R	01-0208-7192	30.30	30.30
05/21	05/07/2021	34439	Colorado City Metropolitan Dist	Greenhorn Park/P&R	01-0208-7192	67.89	67.89
05/21	05/07/2021	34439	Colorado City Metropolitan Dist	Park Showers/P&R	01-0208-7192	99.55	99.55
05/21	05/07/2021	34439	Colorado City Metropolitan Dist	5000 Cuerno Verde/Rec Ctr	01-0203-7192	47.37	47.37
05/21	05/07/2021	34439	Colorado City Metropolitan Dist	Park Restroom	01-0208-7192	29.20	29.20
05/21	05/07/2021	34439	Colorado City Metropolitan Dist	5000 Colorado/W&S Shop	02-0100-7192	33.86	33.86
05/21	05/07/2021	34439	Colorado City Metropolitan Dist	5000 Colorado/W&S Shop	03-0100-7192	33.85	33.85
05/21	05/07/2021	34439	Colorado City Metropolitan Dist	55 N Parkway/GC	01-4000-7192	83.53	83.53
05/21	05/07/2021	34439	Colorado City Metropolitan Dist	5000 Cuerno Verde/P&R	01-0208-7192	159.73	159.73
05/21	05/07/2021	34439	Colorado City Metropolitan Dist	4500 Cuerno Verde/GCM	01-4001-7192	28.48	28.48
Total 34439:							672.07
34440							
05/21	05/07/2021	34440	Colorado Electric Motor Repair	Repair Motor/WTP	02-0100-7122	950.00	950.00
Total 34440:							950.00
34441							
05/21	05/07/2021	34441	Colorado Special Districts Prop	Prop & Liab Ins.-Golf Carts/GC	01-4000-7144	117.00	117.00
05/21	05/07/2021	34441	Colorado Special Districts Prop	Property & Liability Ins./GC	01-4000-7144	2,500.00	2,500.00
05/21	05/07/2021	34441	Colorado Special Districts Prop	Property & Liability Ins./GCM	01-4001-7144	495.85	495.85
05/21	05/07/2021	34441	Colorado Special Districts Prop	Property & Liability Ins./P&R	01-0208-7144	2,089.71	2,089.71
05/21	05/07/2021	34441	Colorado Special Districts Prop	Property & Liability Ins./Adm	01-0100-7144	1,887.49	1,887.49
05/21	05/07/2021	34441	Colorado Special Districts Prop	Property & Liability Ins./Roads	01-6000-7144	167.25	167.25
05/21	05/07/2021	34441	Colorado Special Districts Prop	Property & Liability Ins./Rec Ctr	01-0203-7144	747.00	747.00
05/21	05/07/2021	34441	Colorado Special Districts Prop	Property & Liability Ins./Pool	01-0207-7144	772.25	772.25
05/21	05/07/2021	34441	Colorado Special Districts Prop	Property & Liability Ins./WWTP	03-0100-7144	7,433.35	7,433.35
05/21	05/07/2021	34441	Colorado Special Districts Prop	Property & Liability Ins./WTP	02-0100-7144	9,403.10	9,403.10
Total 34441:							25,613.00
34442							
05/21	05/07/2021	34442	Core & Main LP	1" Corp Stops/WTP	02-0100-7150	433.80	433.80
05/21	05/07/2021	34442	Core & Main LP	18CMP Band/Roads	01-6000-7150	52.49	52.49
05/21	05/07/2021	34442	Core & Main LP	Couplings,Pipe/WTP	02-0100-7150	2,462.95	2,462.95

GL Period	Check Issue Date	Check Number	Payee	Description	Invoice GL Account	Invoice Amount	Check Amount	
05/21	05/07/2021	34442	Core & Main LP	Meter Pit Domes-Mtr Proj/WTP	02-0000-1815	727.30	727.30	
05/21	05/07/2021	34442	Core & Main LP	Hymax Cplg,Grip,Repair Clamps/WTP	02-0100-7150	4,786.08	4,786.08	
05/21	05/07/2021	34442	Core & Main LP	Meter Pit Domes-Mtr Proj/WTP	02-0000-1815	2,181.90	2,181.90	
Total 34442:								10,644.52
34443								
05/21	05/07/2021	34443	DEX Media East, LLC	Advertising/GC	01-4000-7110	232.50	232.50	
Total 34443:								232.50
34444								
05/21	05/07/2021	34444	Direct Discharge Consulting, LL	April ORC/WWTP	03-0100-7122	2,000.00	2,000.00	
Total 34444:								2,000.00
34445								
05/21	05/07/2021	34445	Donald Anzlovar	Telephone Reimbursement	01-4001-7193	30.00	30.00	
Total 34445:								30.00
34446								
05/21	05/07/2021	34446	Donald Scheid	Telephone Reimbursement	02-0100-7193	10.50	10.50	
05/21	05/07/2021	34446	Donald Scheid	Telephone Reimbursement	03-0100-7193	16.50	16.50	
05/21	05/07/2021	34446	Donald Scheid	Telephone Reimbursement	01-0100-7193	3.00	3.00	
Total 34446:								30.00
34447								
05/21	05/07/2021	34447	DPC Industries, Inc.	Chlorine/WTP	02-0100-7150	1,246.54	1,246.54	
Total 34447:								1,246.54
34448								
05/21	05/07/2021	34448	Endress & Hauser, Inc.	Recalibrate PMC51 Probes/WTP	02-0100-7122	1,291.44	1,291.44	
Total 34448:								1,291.44
34449								
05/21	05/07/2021	34449	FEDEX	Transport Samples/WTP	02-0100-7150	35.54	35.54	
Total 34449:								35.54
34450								
05/21	05/07/2021	34450	FilmTec Corporation	Filters,Spare S10N/WTP	02-0100-7710	81,600.00	81,600.00	
Total 34450:								81,600.00
34451								
05/21	05/07/2021	34451	Fleet Supply	Batteries,Filters/GCM	01-4001-7184	448.21	448.21	
Total 34451:								448.21
34452								
05/21	05/07/2021	34452	Gobin's, Inc.	Base Rate,Copies/Adm	01-0100-7150	98.00	98.00	

GL Period	Check Issue Date	Check Number	Payee	Description	Invoice GL Account	Invoice Amount	Check Amount
Total 34452:							98.00
34453							
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Reduc Coupling/WTP	02-0100-7150	22.95	22.95
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Batteries/WTP	02-0100-7150	31.98	31.98
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Wire Primary 12GA/WTP	02-0100-7150	16.68	16.68
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Pipe Cutter,Saw Blade/WTP	02-0100-7184	40.98	40.98
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Striping Paint/GCM	01-4001-7150	15.98	15.98
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Turnbkl/WTP	02-0100-7150	4.59	4.59
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Batteries,Tire Guage/P&R	01-0208-7150	15.18	15.18
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Single Cut Keys/P&R	01-0208-7150	13.95	13.95
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Distilled Water,Hardware/WWTP	03-0100-7150	6.83	6.83
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Ball Valve/WWTP	03-0100-7150	45.98	45.98
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Rbrs 1'x3' Nipple/WWTP	03-0100-7150	12.99	12.99
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Hex Bushings,Hose/GCM	01-4001-7150	25.53	25.53
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Union Sch80 PVC/GCM	01-4001-7150	6.99	6.99
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Adapter Sch40, Gate Vlv/GCM	01-4001-7150	30.77	30.77
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Auger Closet/P&R	01-0208-7184	17.99	17.99
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Cable Ties/WWTP	03-0100-7150	16.99	16.99
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Bucket Grid Metal/WTP	02-0100-7150	12.98	12.98
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Brush Deck 10",Cleaner/WTP	02-0100-7150	28.57	28.57
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Measure Cup Angle/WTP	02-0100-7150	25.98	25.98
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Tube Heatshrink/P&R	01-0208-7150	7.18	7.18
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Drill/Impact Kit/P&R	01-0208-7184	199.99	199.99
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Surge Protector,Adapter/P&R	01-0208-7150	48.94	48.94
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Pin Locking Trailer/P&R	01-0208-7150	4.99	4.99
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Distilled Water/WWTP	03-0100-7150	5.18	5.18
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Single Cut Keys/WTP	02-0100-7150	5.58	5.58
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Screwdriver Set,Tape/WTP	02-0100-7184	27.17	27.17
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Tie Downs/WTP	02-0100-7150	8.99	8.99
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Misc. Hardware/WTP	02-0100-7150	3.30	3.30
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Sprayer/P&R	01-0208-7150	5.58	5.58
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Velcro Hook&Loop/WTP	02-0100-7150	4.99	4.99
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	50# Ty "N" All Purpose/WWTP	03-0100-7150	14.99	14.99
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Couple 2" Sch40/WWTP	03-0100-7150	3.18	3.18
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Janitorial Supplies/WTP	02-0100-7155	10.18	10.18
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Blk Tape, Pail/WWTP	03-0100-7150	9.98	9.98
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Primer,Adapter/WTP	02-0100-7150	15.77	15.77
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Bushing PVC3/WTP	02-0100-7150	3.18	3.18
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Elkskin Gloves/WTP	02-0100-7150	29.99	29.99
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Rubber Tape Adh/WTP	02-0100-7150	18.99	18.99
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Magnetic Tray,Base Magnet/WTP	02-0100-7150	19.57	19.57
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Chain Coil,Clevis Hook/WTP	02-0100-7150	29.94	29.94
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Screw Pin/WTP	02-0100-7150	5.99	5.99
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	LED Plug,Lamp/Adm	01-0100-7150	29.98	29.98
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	LED Plug,Lamp/Adm	01-0100-7150	29.98	29.98
05/21	05/07/2021	34453	Greenhorn Valley Ace Hardware	Single Cut Keys,Padlock/WTP	02-0100-7150	55.84	55.84
Total 34453:							993.34
34454							
05/21	05/07/2021	34454	Greg Bailey	Reimburse Floor Mats/WTP,WWTP	02-0100-7150	13.39	13.39
05/21	05/07/2021	34454	Greg Bailey	Reimburse Floor Mats/WTP,WWTP	03-0100-7150	13.38	13.38
Total 34454:							26.77

GL Period	Check Issue Date	Check Number	Payee	Description	Invoice GL Account	Invoice Amount	Check Amount
34455							
05/21	05/07/2021	34455	Gregory Collins	April Board Mtgs/Adm	01-0100-7122	50.00	50.00
Total 34455:							50.00
34456							
05/21	05/07/2021	34456	Harry Hochstetler	April Board Mtgs/Adm	01-0100-7122	100.00	100.00
Total 34456:							100.00
34457							
05/21	05/07/2021	34457	Interstate Chemical Co.	Chemicals/WTP	02-0100-7150	3,472.32	3,472.32
05/21	05/07/2021	34457	Interstate Chemical Co.	Chemicals/WTP	02-0100-7150	1,487.80	1,487.80
Total 34457:							4,960.12
34458							
05/21	05/07/2021	34458	James Eccher	Telephone Reimbursement/Adm	01-0100-7193	15.00	15.00
05/21	05/07/2021	34458	James Eccher	Telephone Reimbursement/WTP	02-0100-7193	10.50	10.50
05/21	05/07/2021	34458	James Eccher	Telephone Reimbursement/WWTP	03-0100-7193	4.50	4.50
Total 34458:							30.00
34459							
05/21	05/07/2021	34459	Jody Minkler	Telephone Reimbursement	02-0100-7193	15.00	15.00
05/21	05/07/2021	34459	Jody Minkler	Telephone Reimbursement	03-0100-7193	15.00	15.00
Total 34459:							30.00
34460							
05/21	05/07/2021	34460	Joe Williamson	Refund Water/Sewer	19-0000-1991	223.12	223.12
Total 34460:							223.12
34461							
05/21	05/07/2021	34461	Jonathan Valenzuela	Telephone Reimbursement	02-0100-7193	15.00	15.00
05/21	05/07/2021	34461	Jonathan Valenzuela	Telephone Reimbursement	03-0100-7193	15.00	15.00
Total 34461:							30.00
34462							
05/21	05/07/2021	34462	Josh Briggs	Telephone Reimburse/P&R	01-0208-7193	30.00	30.00
Total 34462:							30.00
34463							
05/21	05/07/2021	34463	Kelly Hale	Telephone Reimbursement/Adm	01-0100-7193	10.50	10.50
05/21	05/07/2021	34463	Kelly Hale	Telephone Reimbursement/WTP	02-0100-7193	7.50	7.50
05/21	05/07/2021	34463	Kelly Hale	Telephone Reimbursement/WWTP	03-0100-7193	4.50	4.50
05/21	05/07/2021	34463	Kelly Hale	Telephone Reimbursement/GC	01-4000-7193	1.50	1.50
05/21	05/07/2021	34463	Kelly Hale	Telephone Reimbursement/GCM	01-4001-7193	1.50	1.50
05/21	05/07/2021	34463	Kelly Hale	Telephone Reimbursement/P&R	01-0208-7193	4.50	4.50
Total 34463:							30.00
34464							
05/21	05/07/2021	34464	Lori Valencour	Reimburse - Water Claim/WTP	02-0100-7122	231.00	231.00

GL Period	Check Issue Date	Check Number	Payee	Description	Invoice GL Account	Invoice Amount	Check Amount
Total 34464:							231.00
34465							
05/21	05/07/2021	34465	Main Electric, Ltd.	Wire Motor/WTP	02-0100-7122	315.00	315.00
Total 34465:							315.00
34466							
05/21	05/07/2021	34466	Mile High Turfgrass, LLC	Hole Cutter Blade, Snap Ring/GCM	01-4001-7150	254.24	254.24
Total 34466:							254.24
34467							
05/21	05/07/2021	34467	Morgan/Coy Plumbing & Heatin	Repair #14 Bathrooms/GC	01-4000-7122	451.96	451.96
Total 34467:							451.96
34468							
05/21	05/07/2021	34468	Mountain Disposal	Porta-Let/Cold Springs	02-0100-7194	90.00	90.00
05/21	05/07/2021	34468	Mountain Disposal	Porta-Let/GC	01-4000-7194	180.00	180.00
05/21	05/07/2021	34468	Mountain Disposal	Porta-Let/P&R	01-0208-7194	180.00	180.00
05/21	05/07/2021	34468	Mountain Disposal	Extra Load to Lot/WTP,WWTP	02-0100-7194	45.00	45.00
05/21	05/07/2021	34468	Mountain Disposal	Extra Load to Lot/WTP,WWTP	03-0100-7194	45.00	45.00
05/21	05/07/2021	34468	Mountain Disposal	Trash/Adm	01-0100-7194	50.00	50.00
05/21	05/07/2021	34468	Mountain Disposal	Trash/GC	01-4000-7194	85.00	85.00
05/21	05/07/2021	34468	Mountain Disposal	Trash/GCM	01-4001-7194	85.00	85.00
05/21	05/07/2021	34468	Mountain Disposal	Trash/W&S Shop	03-0100-7194	42.50	42.50
05/21	05/07/2021	34468	Mountain Disposal	Trash/W&S Shop	02-0100-7194	42.50	42.50
05/21	05/07/2021	34468	Mountain Disposal	Trash/WWTP	03-0100-7194	70.00	70.00
05/21	05/07/2021	34468	Mountain Disposal	Dumpster-2yd/P&R	01-0208-7194	70.00	70.00
05/21	05/07/2021	34468	Mountain Disposal	Dumpster-3yd-extra/P&R	01-0208-7194	65.00	65.00
05/21	05/07/2021	34468	Mountain Disposal	Dumpster-2yd-extra/P&R	01-0208-7194	95.00	95.00
05/21	05/07/2021	34468	Mountain Disposal	Dumpster-Lake N./P&R	01-0208-7194	55.00	55.00
05/21	05/07/2021	34468	Mountain Disposal	Dumpster-Lake S./P&R	01-0208-7194	55.00	55.00
Total 34468:							1,255.00
34469							
05/21	05/07/2021	34469	Municipal Treatment Equipment	Svs Call - CL-2 Room/WTP	02-0100-7122	744.42	744.42
Total 34469:							744.42
34470							
05/21	05/07/2021	34470	Neil Elliot	April Board Mtgs/Adm	01-0100-7122	100.00	100.00
Total 34470:							100.00
34471							
05/21	05/07/2021	34471	Power Motive Corp	48" Pallet Forks-CTF/GCM	01-4001-7710	800.00	800.00
05/21	05/07/2021	34471	Power Motive Corp	Hydraulic Oil/GCM	01-4001-7151	130.15	130.15
Total 34471:							930.15
34472							
05/21	05/07/2021	34472	Prestige Flag	Smarty Reflectors/GCM	01-4001-7150	494.00	494.00

GL Period	Check Issue Date	Check Number	Payee	Description	Invoice GL Account	Invoice Amount	Check Amount
Total 34472:							494.00
34473							
05/21	05/07/2021	34473	Prutch's Garage Door Co., Inc	Repair Garage Door/GCM	01-4001-7186	175.00	175.00
Total 34473:							175.00
34474							
05/21	05/07/2021	34474	Pueblo Dept. of Public Health &	Testing/WTP	02-0100-7122	85.00	85.00
05/21	05/07/2021	34474	Pueblo Dept. of Public Health &	Testing/WWTP	03-0100-7122	93.00	93.00
Total 34474:							178.00
34475							
05/21	05/07/2021	34475	Pumps & More LLC	Rebuild Pump,Gasket/GCM	01-4001-7122	204.76	204.76
Total 34475:							204.76
34476							
05/21	05/07/2021	34476	QA Balance Services, Inc.	Calibration/WWTP	03-0100-7122	92.00	92.00
Total 34476:							92.00
34477							
05/21	05/07/2021	34477	Rachel Files	Telephone Reimbursement/Adm	01-0100-7193	6.00	6.00
05/21	05/07/2021	34477	Rachel Files	Telephone Reimbursement/WTP	02-0100-7193	15.00	15.00
05/21	05/07/2021	34477	Rachel Files	Telephone Reimbursement/WWTP	03-0100-7193	9.00	9.00
Total 34477:							30.00
34478							
05/21	05/07/2021	34478	Robert Cook	April Board Mtgs/Adm	01-0100-7122	100.00	100.00
Total 34478:							100.00
34479							
05/21	05/07/2021	34479	Roots Recycling	Recycle-Mar./P&R	01-0508-7150	207.00	207.00
Total 34479:							207.00
34480							
05/21	05/07/2021	34480	Rye Telephone CO	Telephone/Adm	01-0100-7193	758.59	758.59
05/21	05/07/2021	34480	Rye Telephone CO	Telephone/P&R	01-0208-7193	164.20	164.20
05/21	05/07/2021	34480	Rye Telephone CO	Telephone/WWTP	03-0100-7193	225.68	225.68
05/21	05/07/2021	34480	Rye Telephone CO	Telephone/WTP	02-0100-7193	359.34	359.34
05/21	05/07/2021	34480	Rye Telephone CO	Telephone/GC	01-4000-7193	259.35	259.35
05/21	05/07/2021	34480	Rye Telephone CO	Telephone/GCM	01-4001-7193	100.20	100.20
Total 34480:							1,867.36
34481							
05/21	05/07/2021	34481	Safety-Kleen Systems Inc	Parts Washer Solvent,Svs/GCM	01-4001-7122	321.37	321.37
Total 34481:							321.37

GL Period	Check Issue Date	Check Number	Payee	Description	Invoice GL Account	Invoice Amount	Check Amount
34482							
05/21	05/07/2021	34482	San Isabel Electric Association	W&S Security Lt/WTP,WWTP	03-0100-7190	21.08	21.08
05/21	05/07/2021	34482	San Isabel Electric Association	W&S Security Lt/WTP,WWTP	02-0100-7190	10.79	10.79
05/21	05/07/2021	34482	San Isabel Electric Association	N. Parkway Pump/GCM	01-4001-7190	121.66	121.66
05/21	05/07/2021	34482	San Isabel Electric Association	55 N Parkway/GC	01-4000-7190	740.98	740.98
05/21	05/07/2021	34482	San Isabel Electric Association	5000 Colorado/W&S Shop	02-0100-7190	63.68	63.68
05/21	05/07/2021	34482	San Isabel Electric Association	5000 Colorado/W&S Shop	03-0100-7190	63.68	63.68
05/21	05/07/2021	34482	San Isabel Electric Association	54 Lights/Roads	01-6000-7190	875.21	875.21
05/21	05/07/2021	34482	San Isabel Electric Association	4500 Cuerno Verde/GCM	01-4001-7190	60.32	60.32
05/21	05/07/2021	34482	San Isabel Electric Association	4500 Cuerno Verde/GCM	01-4001-7190	164.85	164.85
05/21	05/07/2021	34482	San Isabel Electric Association	5000 Cuerno Verde/Pool	01-0207-7190	93.06	93.06
05/21	05/07/2021	34482	San Isabel Electric Association	P&R Security Lt/Pool	01-0207-7190	16.18	16.18
05/21	05/07/2021	34482	San Isabel Electric Association	Tank #1/WTP	02-0100-7190	1,677.84	1,677.84
05/21	05/07/2021	34482	San Isabel Electric Association	5000 Cuerno Verde/Rec Ctr	01-0203-7190	131.10	131.10
05/21	05/07/2021	34482	San Isabel Electric Association	Marina Sec Lt/Adm	01-0100-7190	10.29	10.29
05/21	05/07/2021	34482	San Isabel Electric Association	Lake Beckwith Restroom/P&R	01-0208-7190	33.86	33.86
05/21	05/07/2021	34482	San Isabel Electric Association	5445 Cuerno Verde Sec Lt/GCM	01-4001-7190	10.79	10.79
05/21	05/07/2021	34482	San Isabel Electric Association	Rec Dist Well/WTP	02-0100-7190	36.01	36.01
05/21	05/07/2021	34482	San Isabel Electric Association	5600 Cuerno Verde/WTP	02-0100-7190	5,832.88	5,832.88
05/21	05/07/2021	34482	San Isabel Electric Association	Greenhorn Mdws Park/P&R	01-0208-7190	52.02	52.02
05/21	05/07/2021	34482	San Isabel Electric Association	W&S Security Lt/WTP,WWTP	02-0100-7190	10.79	10.79
05/21	05/07/2021	34482	San Isabel Electric Association	W&S Security Lt/WTP,WWTP	03-0100-7190	10.79	10.79
05/21	05/07/2021	34482	San Isabel Electric Association	P&R Security Lt/P&R	01-0208-7190	16.18	16.18
05/21	05/07/2021	34482	San Isabel Electric Association	P&R Security Lt/P&R	01-0208-7190	16.68	16.68
05/21	05/07/2021	34482	San Isabel Electric Association	W&S Security Lt/WTP,WWTP	02-0100-7190	25.12	25.12
05/21	05/07/2021	34482	San Isabel Electric Association	4497 Bent Bros /Adm	01-0100-7190	112.37	112.37
05/21	05/07/2021	34482	San Isabel Electric Association	4497 Bent Bros /Adm	01-0100-7190	136.11	136.11
05/21	05/07/2021	34482	San Isabel Electric Association	W&S Security Lt/WTP,WWTP	03-0100-7190	10.29	10.29
05/21	05/07/2021	34482	San Isabel Electric Association	Greenhorn Campground/P&R	01-0208-7190	715.68	715.68
05/21	05/07/2021	34482	San Isabel Electric Association	Tank #2/WTP	02-0100-7190	244.50	244.50
05/21	05/07/2021	34482	San Isabel Electric Association	P&R Security Lt/P&R	01-0208-7190	16.68	16.68
05/21	05/07/2021	34482	San Isabel Electric Association	P&R Security Lt/P&R	01-0208-7190	16.68	16.68
05/21	05/07/2021	34482	San Isabel Electric Association	P&R Security Lt/P&R	01-0208-7190	16.18	16.18
05/21	05/07/2021	34482	San Isabel Electric Association	P&R Security Lt/P&R	01-0208-7190	16.18	16.18
05/21	05/07/2021	34482	San Isabel Electric Association	P&R Security Lt/P&R	01-0208-7190	16.18	16.18
05/21	05/07/2021	34482	San Isabel Electric Association	P&R Security Lt/P&R	01-0208-7190	16.18	16.18
05/21	05/07/2021	34482	San Isabel Electric Association	Ball Field/P&R	01-0208-7190	47.18	47.18
05/21	05/07/2021	34482	San Isabel Electric Association	Greenhorn Mdws Park/P&R	01-0208-7190	31.14	31.14
05/21	05/07/2021	34482	San Isabel Electric Association	Gazebo/P&R	01-0208-7190	26.47	26.47
05/21	05/07/2021	34482	San Isabel Electric Association	P&R Security Lt/P&R	01-0208-7190	16.68	16.68
05/21	05/07/2021	34482	San Isabel Electric Association	P&R Security Lt/P&R	01-0208-7190	16.18	16.18
05/21	05/07/2021	34482	San Isabel Electric Association	W&S Security Lt/WTP,WWTP	03-0100-7190	10.79	10.79
05/21	05/07/2021	34482	San Isabel Electric Association	Greenhorn Mdws Park/P&R	01-0208-7190	197.74	197.74
05/21	05/07/2021	34482	San Isabel Electric Association	P&R Security Lt/P&R	01-0208-7190	16.68	16.68
05/21	05/07/2021	34482	San Isabel Electric Association	Cold Springs Pump/WTP	02-0100-7190	391.48	391.48
05/21	05/07/2021	34482	San Isabel Electric Association	Cold Springs Pump Sec Lt/WTP	02-0100-7190	10.29	10.29
05/21	05/07/2021	34482	San Isabel Electric Association	Tank #3/WTP	02-0100-7190	49.45	49.45
05/21	05/07/2021	34482	San Isabel Electric Association	Booster Station/WTP	02-0100-7190	136.72	136.72
05/21	05/07/2021	34482	San Isabel Electric Association	Park Sign/P&R	01-0208-7190	62.89	62.89
05/21	05/07/2021	34482	San Isabel Electric Association	15th Hole/GC	01-4000-7190	36.15	36.15
05/21	05/07/2021	34482	San Isabel Electric Association	Gate Tank #4/WTP	02-0100-7190	33.00	33.00
05/21	05/07/2021	34482	San Isabel Electric Association	Rodeo Grounds Well/WTP	02-0100-7190	253.25	253.25
05/21	05/07/2021	34482	San Isabel Electric Association	18th Well/WTP	02-0100-7190	2,590.02	2,590.02
05/21	05/07/2021	34482	San Isabel Electric Association	Kanaeche Well/WTP	02-0100-7190	152.83	152.83
05/21	05/07/2021	34482	San Isabel Electric Association	Dixit Well/WTP	02-0100-7190	80.02	80.02
05/21	05/07/2021	34482	San Isabel Electric Association	Summit Well/WTP	02-0100-7190	82.41	82.41
05/21	05/07/2021	34482	San Isabel Electric Association	Greenhorn Park Gazebo/P&R	01-0208-7190	49.73	49.73

GL Period	Check Issue Date	Check Number	Payee	Description	Invoice GL Account	Invoice Amount	Check Amount
05/21	05/07/2021	34482	San Isabel Electric Association	3160 Applewood/WWTP	03-0100-7190	4,310.59	4,310.59
05/21	05/07/2021	34482	San Isabel Electric Association	Concession Stand/P&R	01-0208-7190	184.15	184.15
Total 34482:							20,198.71
34483							
05/21	05/07/2021	34483	Schuster's Printing, Inc.	Meter Cards/WTP, WWTP	03-0100-7150	37.00	37.00
05/21	05/07/2021	34483	Schuster's Printing, Inc.	Meter Cards/WTP, WWTP	02-0100-7150	37.00	37.00
05/21	05/07/2021	34483	Schuster's Printing, Inc.	Envelopes/WTP, WWTP, Adm	02-0100-7150	416.50	416.50
05/21	05/07/2021	34483	Schuster's Printing, Inc.	Envelopes/WTP, WWTP, Adm	03-0100-7150	416.50	416.50
05/21	05/07/2021	34483	Schuster's Printing, Inc.	Envelopes/WTP, WWTP, Adm	02-0100-7150	119.00	119.00
Total 34483:							1,026.00
34484							
05/21	05/07/2021	34484	SGS North America Inc.	Testing-C.S. Weekly Discharge/WWTP	03-0100-7122	249.50	249.50
05/21	05/07/2021	34484	SGS North America Inc.	Testing - Raw/Finish/WTP	02-0100-7122	249.48	249.48
05/21	05/07/2021	34484	SGS North America Inc.	Testing-Chlorite, Disinfection/WTP	02-0100-7122	139.79	139.79
05/21	05/07/2021	34484	SGS North America Inc.	Testing--Weekly Effluent/WWTP	03-0100-7122	89.50	89.50
05/21	05/07/2021	34484	SGS North America Inc.	Testing - Raw/Finish/WTP	02-0100-7122	458.52	458.52
Total 34484:							1,186.79
34485							
05/21	05/07/2021	34485	Sherris Blings N' Things	Decals for Trucks/Equip/Adm	01-0100-7150	531.22	531.22
Total 34485:							531.22
34486							
05/21	05/07/2021	34486	Spradley Ford of Pueblo	Purchase F-150 Ford Pickup/P&R	01-0208-7710	28,750.00	28,750.00
Total 34486:							28,750.00
34487							
05/21	05/07/2021	34487	Staples Credit Plan	Black Ink Cartridge/Adm	01-0100-7154	17.99	17.99
05/21	05/07/2021	34487	Staples Credit Plan	APC UPS Battery/Adm	01-0100-7150	139.72	139.72
05/21	05/07/2021	34487	Staples Credit Plan	Office Supplies/Adm	01-0100-7154	35.95	35.95
05/21	05/07/2021	34487	Staples Credit Plan	Startech Display Cables/Adm	01-0100-7150	77.22	77.22
05/21	05/07/2021	34487	Staples Credit Plan	Office Supplies/Adm	01-0100-7154	89.97	89.97
05/21	05/07/2021	34487	Staples Credit Plan	Dry Erase Board/GC	01-4000-7150	52.98	52.98
05/21	05/07/2021	34487	Staples Credit Plan	HP Monitor/Adm	01-0100-7150	110.45	110.45
05/21	05/07/2021	34487	Staples Credit Plan	Ergotron Monitor Mount/Adm	01-0100-7150	81.88	81.88
05/21	05/07/2021	34487	Staples Credit Plan	Office Supplies/Adm	01-0100-7154	106.79	106.79
Total 34487:							712.95
34488							
05/21	05/07/2021	34488	T & R Trailer Mfg. Inc.	Top Hat Dump Bed/WWTP	03-0100-7710	10,500.00	10,500.00
Total 34488:							10,500.00
34489							
05/21	05/07/2021	34489	Terry Kraus	April Board Mtgs/Adm	01-0100-7122	100.00	100.00
Total 34489:							100.00

GL Period	Check Issue Date	Check Number	Payee	Description	Invoice GL Account	Invoice Amount	Check Amount
34490							
05/21	05/07/2021	34490	The Home Depot Pro	Janitorial Supplies/GC	01-4000-7155	82.00	82.00
Total 34490:							82.00
34491							
05/21	05/07/2021	34491	Toro NSN	Service Agreement	01-4001-7122	155.00	155.00
Total 34491:							155.00
34492							
05/21	05/07/2021	34492	US Postmaster	Postage/WTP	02-0100-7150	1,200.00	1,200.00
05/21	05/07/2021	34492	US Postmaster	Postage/WWTP	03-0100-7150	800.00	800.00
05/21	05/07/2021	34492	US Postmaster	Permit Fee/Adm	01-0100-7150	81.66	81.66
05/21	05/07/2021	34492	US Postmaster	Permit Fee/WTP	02-0100-7150	81.67	81.67
05/21	05/07/2021	34492	US Postmaster	Permit Fee/WWTP	03-0100-7150	81.67	81.67
Total 34492:							2,245.00
34493							
05/21	05/07/2021	34493	USA Blue Book	1/4' PVC Reducing Bushing/WTP	02-0100-7150	29.95	29.95
05/21	05/07/2021	34493	USA Blue Book	Janitorial Supplies/Adm	01-0100-7155	203.77	203.77
Total 34493:							233.72
34494							
05/21	05/07/2021	34494	Utility Notification Center of Col	Utility Locates/WTP,WWTP	03-0100-7150	34.32	34.32
05/21	05/07/2021	34494	Utility Notification Center of Col	Utility Locates/WTP,WWTP	03-0100-7150	34.32	34.32
Total 34494:							68.64
34495							
05/21	05/07/2021	34495	Yvonne Barron	Telephone Reimbursement	01-0100-7193	15.00	15.00
05/21	05/07/2021	34495	Yvonne Barron	Telephone Reimbursement	02-0100-7193	10.50	10.50
05/21	05/07/2021	34495	Yvonne Barron	Telephone Reimbursement	03-0100-7193	4.50	4.50
Total 34495:							30.00
Grand Totals:							239,126.97

Summary by General Ledger Account Number

GL Account	Debit	Credit	Proof
01-0000-2110	.00	63,835.53-	63,835.53-
01-0000-2230	2,413.21	.00	2,413.21
01-0000-2231	282.99	.00	282.99
01-0100-6310	275.34	.00	275.34
01-0100-7122	1,258.44	.00	1,258.44
01-0100-7123	2,028.00	.00	2,028.00
01-0100-7141	598.00	.00	598.00
01-0100-7144	1,887.49	.00	1,887.49
01-0100-7150	1,180.11	.00	1,180.11
01-0100-7151	88.82	.00	88.82
01-0100-7154	250.70	.00	250.70

GL Account	Debit	Credit	Proof
01-0100-7155	203.77	.00	203.77
01-0100-7190	258.77	.00	258.77
01-0100-7191	382.39	.00	382.39
01-0100-7192	58.31	.00	58.31
01-0100-7193	808.09	.00	808.09
01-0100-7194	50.00	.00	50.00
01-0203-7144	747.00	.00	747.00
01-0203-7190	131.10	.00	131.10
01-0203-7191	312.78	.00	312.78
01-0203-7192	47.37	.00	47.37
01-0207-7144	772.25	.00	772.25
01-0207-7190	109.24	.00	109.24
01-0207-7191	51.27	.00	51.27
01-0208-7144	2,089.71	.00	2,089.71
01-0208-7150	95.82	.00	95.82
01-0208-7151	684.57	.00	684.57
01-0208-7155	517.85	.00	517.85
01-0208-7184	515.86	.00	515.86
01-0208-7186	159.98	.00	159.98
01-0208-7190	1,581.34	.00	1,581.34
01-0208-7192	386.67	.00	386.67
01-0208-7193	246.15	.00	246.15
01-0208-7194	520.00	.00	520.00
01-0208-7710	28,750.00	.00	28,750.00
01-0408-7150	396.34	.00	396.34
01-0508-7150	207.00	.00	207.00
01-4000-7110	277.50	.00	277.50
01-4000-7122	451.96	.00	451.96
01-4000-7144	2,617.00	.00	2,617.00
01-4000-7150	52.98	.00	52.98
01-4000-7155	82.00	.00	82.00
01-4000-7190	777.13	.00	777.13
01-4000-7191	994.15	.00	994.15
01-4000-7192	83.53	.00	83.53
01-4000-7193	308.30	.00	308.30
01-4000-7194	265.00	.00	265.00
01-4001-7122	767.81	.00	767.81
01-4001-7144	495.85	.00	495.85
01-4001-7150	915.85	.00	915.85
01-4001-7151	604.79	.00	604.79
01-4001-7184	448.21	.00	448.21
01-4001-7186	175.00	.00	175.00
01-4001-7190	357.62	.00	357.62
01-4001-7191	268.07	.00	268.07
01-4001-7192	28.48	.00	28.48
01-4001-7193	131.70	.00	131.70
01-4001-7194	85.00	.00	85.00
01-4001-7710	800.00	.00	800.00
01-4001-7730	565.29	.00	565.29
01-6000-7122	305.00	.00	305.00
01-6000-7144	167.25	.00	167.25
01-6000-7150	52.49	.00	52.49
01-6000-7151	535.63	.00	535.63
01-6000-7190	875.21	.00	875.21
02-0000-1815	3,714.55	.00	3,714.55
02-0000-2110	.00	144,206.78-	144,206.78-
02-0000-2230	2,446.36	.00	2,446.36
02-0100-6310	387.96	.00	387.96

GL Account	Debit	Credit	Proof
02-0100-6320	310.00	.00	310.00
02-0100-6322	456.00	.00	456.00
02-0100-7122	10,784.75	.00	10,784.75
02-0100-7141	2,612.50	.00	2,612.50
02-0100-7144	9,403.10	.00	9,403.10
02-0100-7150	16,616.70	.00	16,616.70
02-0100-7151	953.81	.00	953.81
02-0100-7155	10.18	.00	10.18
02-0100-7184	68.15	.00	68.15
02-0100-7190	11,681.08	.00	11,681.08
02-0100-7191	2,369.78	.00	2,369.78
02-0100-7192	33.86	.00	33.86
02-0100-7193	580.50	.00	580.50
02-0100-7194	177.50	.00	177.50
02-0100-7710	81,600.00	.00	81,600.00
03-0000-2110	.00	30,861.54-	30,861.54-
03-0000-2230	2,112.76	.00	2,112.76
03-0100-6310	477.69	.00	477.69
03-0100-7122	2,524.00	.00	2,524.00
03-0100-7144	7,433.35	.00	7,433.35
03-0100-7150	1,566.90	.00	1,566.90
03-0100-7151	716.04	.00	716.04
03-0100-7190	4,427.22	.00	4,427.22
03-0100-7191	499.99	.00	499.99
03-0100-7192	33.85	.00	33.85
03-0100-7193	412.24	.00	412.24
03-0100-7194	157.50	.00	157.50
03-0100-7710	10,500.00	.00	10,500.00
19-0000-1991	223.12	.00	223.12
19-0000-2110	.00	223.12-	223.12-
Grand Totals:	239,126.97	239,126.97-	.00

Dated: _____

Mayor: _____

City Council: _____

City Recorder: _____



Application will be considered for review only if it has been fully completed and received at the Colorado City Metropolitan District Office or mailed to and received at the above address by 3p.m. on the Wednesday prior to the next regular meeting. All applications must be accompanied by a check or money order made out to "CCAAC" in the amount appropriate to the fee schedule featured on the back of this application.

Property Owner: McBDev LLC Brandon McBee
 Mailing Address: 10739 Arnold Ln. City: Rye
 State: CO ZIP: 81069 Telephone: 719 229 0010

CONTRACTOR			
Contractor:	<u>Mountain Homes LLC</u>		
Mailing Address:	<u>''</u>		
State:	<u>''</u>	ZIP: <u>''</u>	City: <u>''</u>
			Telephone: <u>''</u>

Requested approval for: Commercial building Home Shed Fence Other: _____
CCMD - R1/2 PC - R-1

Lot: 656 Unit: 1 Legal address, (please verify with CC Metro District): 4721 ST VRAIN DR

Type construction: Stick Mobile homes: New Used - Year built: _____

Floor area square footage: 1040 Square footage required by covenants: 720

REQUIRED ITEMS for submittal of application:

- Legal description of property with legal address defined as street name & number
- Plot plans to scale (indicate scale)
- Property line staked out corners
- Foundation plan and Building staked out before Excavation
- One (1) copy of blue print and One (1) electronic copy sent to manager
- Location of improvements on property - NOTE: front of house must face legal address
- Exterior dimensions - both primary and secondary buildings
- Elevations - front, back, sides
- Accurate setbacks drawn to scale (include easements)
- Distances between buildings
- Location of improvements (porches, decks, garages, carports, driveways, accessory buildings, landscaping)
- Location of propane tank, where applicable
- Location of street light (where required by covenants)
- Fence - type of materials, height, and locations
- Landscaping diagram (if not included in original plans, must be submitted later)
- Exterior color scheme, type of siding and roofing materials must be indicated

have read and agree to abide by the unit's protective covenants for which this application is submitted:

Property owner's signature: Brandon McBee Date: 3-25-21

This application will not be accepted until you read and sign on reverse.

CONDITIONS APPLYING TO THIS APPLICATION

- It is clearly understood that the granting of architectural approval does not relieve the owner or building of compliance with Pueblo County Zoning Resolutions and/or Building Codes and Subdivision Regulations; It is also understood that the construction shall commence within 90 days of Colorado City Architectural Advisory Committee (CCAAC) approval. Actual construction period shall not exceed 180 days without committee approval. Failure to comply with these time limitations automatically terminates CCAAC approval. Any changes made to the submitted plans, either before or during construction, must be approved by CCAAC; or applying to the owner's unit. Copies of the covenants are available at the Colorado City Metropolitan District office or at www.colorado.gov/coloradocitymetro.
- Preliminary plans should be brought before CCAAC for approval. One (1) complete set of plans and specifications for construction, including all required items listed on the opposite side of this page, must be submitted for approval. Drawings must be professionally prepared and acceptable for the Pueblo Regional Planning Department.
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CCAAC Fee Schedule

Please note that a check or money order for the appropriate amount must be included with your application

Commercial/Industrial	\$400.00
Multifamily Residential	\$300.00
New Single Family Residential	\$200.00
Sheds/Fences/Garages/Carports/Decks	\$ 40.00
Remodeling Residential	\$ 50.00
Re-Roofing	\$ 25.00

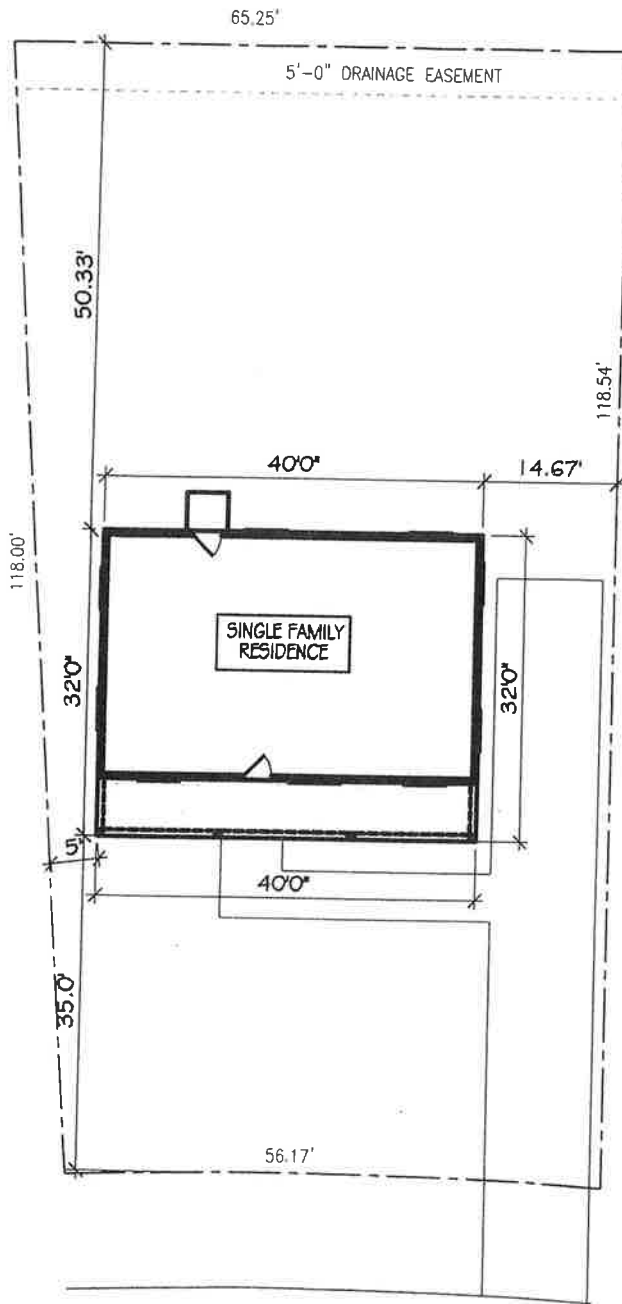
NOTE: A Late Fee amounting to double the original filing fee will be charged if filing application AFTER construction has begun. For instance, if filing after construction of a shed, that amount would be \$80 (\$40 application fee + \$40 late fee) and must accompany application.

I have read and understand the provisions of this application and understand that incomplete applications will be returned to me for the required information before being considered by CCAAC.

Property Owner Signature: Barbara McBee Date: 3-25-21

**PUEBLO COUNTY DEPARTMENT OF PLANNING
AND ZONING CHECKLIST**

INCLUDED	ASSESSOR'S PARCEL NUMBER	PARCEL SCHEDULE # 4723401262
INCLUDED	SQUARE FOOTAGE OF PROPOSED STRUCTURE	MAIN FLOOR DRIVING TORQUE TOTAL UNDER ROOF - 1290.0
N/A	SQUARE FOOTAGE OF EXISTING STRUCTURE	N/A
INCLUDED	STRUCTURE HEIGHT	17'-0" OFF FINISHED GRADE
N/A	LOCATION & SIZE OF EXISTING FENCES, WALLS	N/A
INCLUDED	DIMENSIONS OF THE PARCEL	SEE PLOT
INCLUDED	EASEMENTS/BUILDING SETBACK LINES	SEE PLOT
INCLUDED	LEGAL DESCRIPTION	LOT 656 UNIT 1 COLORADO CITY
INCLUDED	ADDRESS OF PROPERTY	4721 ST VRAIN DR. (COLORADO CITY)
N/A	STREET NAME AND ADJACENT STREET	N/A
INCLUDED	NORTH ARROW	SEE PLOT
INCLUDED	ALL LOCATIONS & DISTANCES TO PROP. STRUCTURES	SEE PLOT
N/A	LOCATION & DISTANCES TO EXISTING STRUCTURES IF APPL.	N/A



4721 ST VRAIN DR. (COLORADO CITY)

PLOT PLAN

SCALE: 1" = 20'-0"

BUILDER/OWNER: MOUNTAIN HOMES, LLC- THE 1040 MODEL HOME

DATE: 3-2021

ADDRESS: 4721 ST VRAIN DR. (COLORADO CITY)

LEGAL DESCRIPTION: LOT 656 UNIT 1 COLORADO CITY
PARCEL SCHEDULE # 4723401262

ATT. DAVE WEHRICH
702 POLK STREET
PUEBLO, COLORADO 81004
(719) 299-4784 fax
(719) 240-9468 cell
(719) 744-0544 office

EMAIL-dave@advanceddb.com
EMAIL-david.wehrich@yahoo.com



4721 St Vrain Dr
 CO City CO 81019

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
1	1/2" WALL	24	4" WALL	31	1/2" WALL
2	3/4" WALL	25	6" WALL	32	3/4" WALL
3	1" WALL	26	8" WALL	33	1" WALL
4	1 1/2" WALL	27	10" WALL	34	1 1/2" WALL
5	2" WALL	28	12" WALL	35	2" WALL
6	2 1/2" WALL	29	14" WALL	36	2 1/2" WALL
7	3" WALL	30	16" WALL	37	3" WALL
8	3 1/2" WALL				
9	4" WALL				
10	4 1/2" WALL				
11	5" WALL				
12	5 1/2" WALL				
13	6" WALL				
14	6 1/2" WALL				
15	7" WALL				
16	7 1/2" WALL				
17	8" WALL				
18	8 1/2" WALL				
19	9" WALL				
20	9 1/2" WALL				

ABBREVIATIONS:

1. 1/2" WALL

2. 3/4" WALL

3. 1" WALL

4. 1 1/2" WALL

5. 2" WALL

6. 2 1/2" WALL

7. 3" WALL

8. 3 1/2" WALL

9. 4" WALL

10. 4 1/2" WALL

11. 5" WALL

12. 5 1/2" WALL

13. 6" WALL

14. 6 1/2" WALL

15. 7" WALL

16. 7 1/2" WALL

17. 8" WALL

18. 8 1/2" WALL

19. 9" WALL

20. 9 1/2" WALL

21. 10" WALL

22. 11" WALL

23. 12" WALL

24. 14" WALL

25. 16" WALL

26. 18" WALL

27. 20" WALL

28. 22" WALL

29. 24" WALL

30. 26" WALL

31. 28" WALL

32. 30" WALL

33. 32" WALL

34. 34" WALL

35. 36" WALL

36. 38" WALL

37. 40" WALL

38. 42" WALL

39. 44" WALL

40. 46" WALL

41. 48" WALL

42. 50" WALL

43. 52" WALL

44. 54" WALL

45. 56" WALL

46. 58" WALL

47. 60" WALL

48. 62" WALL

49. 64" WALL

50. 66" WALL

51. 68" WALL

52. 70" WALL

53. 72" WALL

54. 74" WALL

55. 76" WALL

56. 78" WALL

57. 80" WALL

58. 82" WALL

59. 84" WALL

60. 86" WALL

61. 88" WALL

62. 90" WALL

63. 92" WALL

64. 94" WALL

65. 96" WALL

66. 98" WALL

67. 100" WALL

GENERAL PROJECT NOTES:		PROJECT DIRECTORY	
<p>1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.</p> <p>2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.</p> <p>3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.</p> <p>4. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE BUILDING DEPARTMENT.</p> <p>5. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.</p> <p>6. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.</p> <p>7. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORK SITE AT ALL TIMES.</p> <p>8. ALL MATERIALS SHALL BE STORED PROPERLY ON-SITE.</p> <p>9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS AND WASTE PROPERLY.</p> <p>10. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES SHOWN ON THESE PLANS.</p>		<p>PROJECT DIRECTORY</p> <p>BUILDING: 1040 MODEL HOME</p> <p>REVISIONS: 3/01/19</p> <p>TITLE SHEET: ELEVATIONS SHEET FRONT ELEVATION</p> <p>SHEET INDEX: 1 OF 3</p>	

ADVANCED

ATT. DAVE WERBICH
 1735 S. W. 10TH AVE
 SUITE 104
 DENVER, CO 80202
 (303) 733-1000
 www.advanced.com

A SINGLE FAMILY RESIDENCE

THE 1040 MODEL HOME

(COLORADO CITY) COLORADO

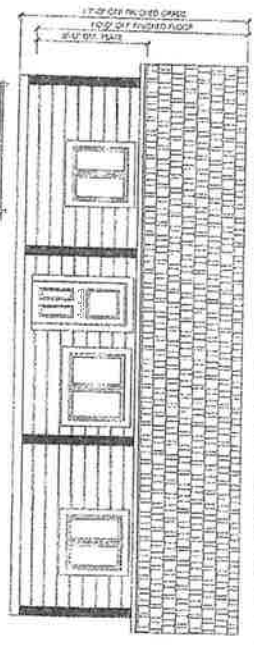
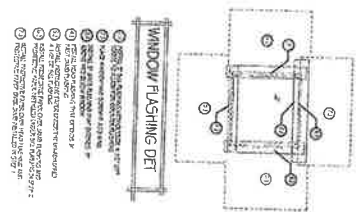
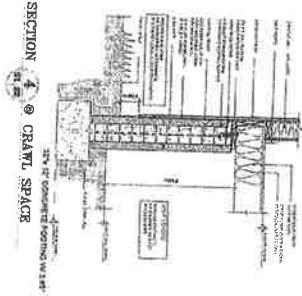
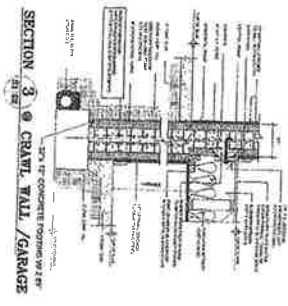
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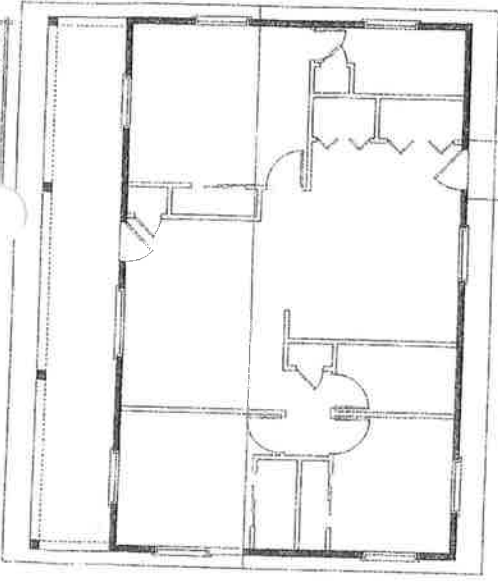
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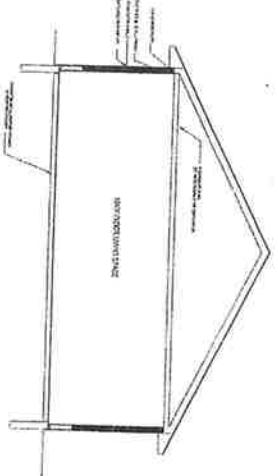
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FOUNDATION PLANS



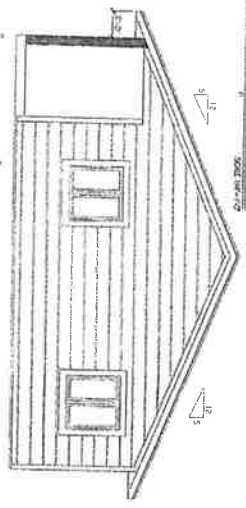
ROOF FRAMING PL



CROSS SECTION

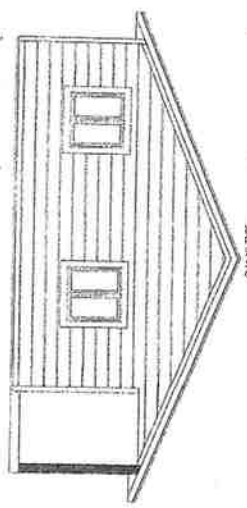
SCALE: 1/8\"/>

NOTES:
 1. REFER TO ALL OTHER DRAWINGS OF THIS PROJECT.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOKS AND ALL APPLICABLE LOCAL ORDINANCES.
 3. ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS SHALL BE UNLESS OTHERWISE NOTED.
 5. ALL FINISHES SHALL BE AS NOTED.
 6. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
 7. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
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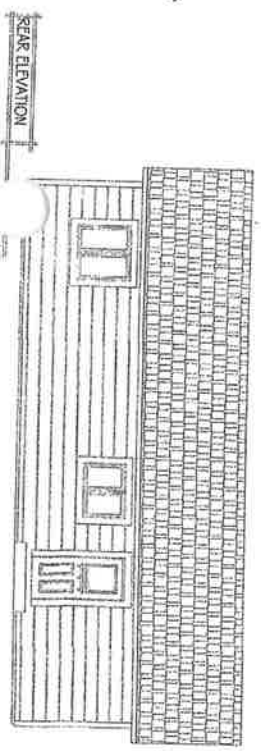
SIDE ELEVATION

SCALE: 1/8\"/>



SIDE ELEVATION

SCALE: 1/8\"/>



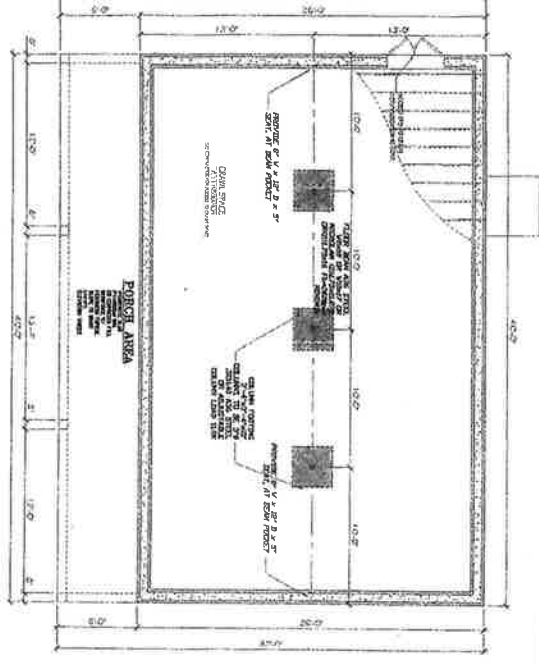
REAR ELEVATION

MOUNTAIN HOMES, LLC
 ATT. BRANDON MCBEE
 TEL: 303.662.6242

A SINGLE FAMILY RESIDENCE
 THE 1040 MODEL HOME
 4970 CHERRY CREEK STREET (COLORADO CITY) COLORADO

ADVANCED
 ATT. DAVE WERNECH
 678 S. 10TH ST.
 FORT COLLINS, CO 80504
 970.226.1111

FOR MORE INFORMATION, CONTACT:
 ADVANCED ARCHITECTURAL SERVICES
 1000 S. 10TH ST., FORT COLLINS, CO 80504
 970.226.1111



GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. ALL JOISTS ARE TO BE 2x10 @ 16" O.C.
3. ALL BEAMS ARE TO BE 4x12 @ 16" O.C.
4. ALL POSTS ARE TO BE 4x4 @ 8' O.C.
5. ALL CONNECTIONS ARE TO BE MADE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NDS AND AIA SCA CODES.

EXISTING CONDITIONS:

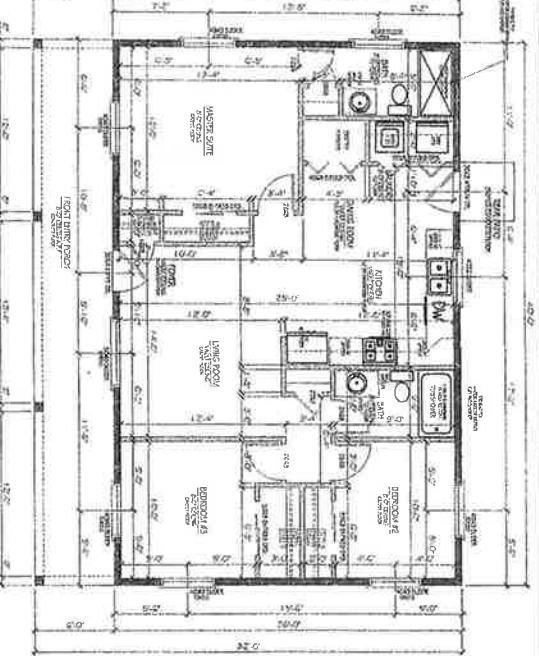
1. ALL EXISTING CONDITIONS ARE TO BE MAINTAINED UNLESS NOTED OTHERWISE.

2. ALL EXISTING FOUNDATIONS ARE TO BE MAINTAINED UNLESS NOTED OTHERWISE.

3. ALL EXISTING ROOFING IS TO BE MAINTAINED UNLESS NOTED OTHERWISE.

4. ALL EXISTING INTERIORS ARE TO BE MAINTAINED UNLESS NOTED OTHERWISE.

5. ALL EXISTING EXTERIORS ARE TO BE MAINTAINED UNLESS NOTED OTHERWISE.



MAIN STORY FLOOR PLANS

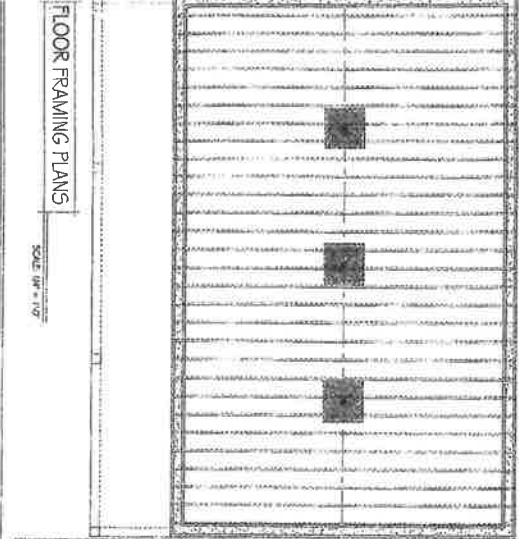
SCALE: 1/8" = 1'-0"

DATE: 11/15/2019

PROJECT: 1040 MODEL HOME

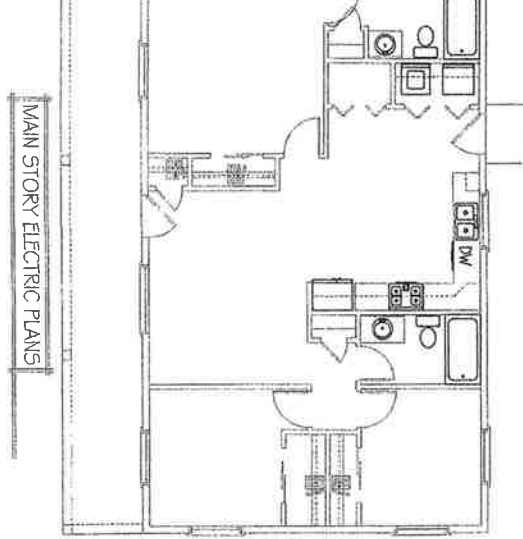
OWNER: MOUNTAIN HOMES, LLC

ARCHITECT: MOUNTAIN HOMES, LLC



SECTION LAYOUTS AND DIMENSIONS

SECTION	DESCRIPTION	LENGTH	WIDTH	HEIGHT
1	SECTION 1-1	12'-0"	12'-0"	8'-0"
2	SECTION 2-2	12'-0"	12'-0"	8'-0"
3	SECTION 3-3	12'-0"	12'-0"	8'-0"
4	SECTION 4-4	12'-0"	12'-0"	8'-0"
5	SECTION 5-5	12'-0"	12'-0"	8'-0"
6	SECTION 6-6	12'-0"	12'-0"	8'-0"
7	SECTION 7-7	12'-0"	12'-0"	8'-0"
8	SECTION 8-8	12'-0"	12'-0"	8'-0"
9	SECTION 9-9	12'-0"	12'-0"	8'-0"
10	SECTION 10-10	12'-0"	12'-0"	8'-0"



MOUNTAIN HOMES, LLC
 ATT: BRANDON MCBE
 719-229-0010 (CELL PH)

30 of 113
 11/15/2019

A SINGLE FAMILY RESIDENCE
 for
THE 1040 MODEL HOME
 4970 CHERRY CREEK STREET (COLORADO CITY) COLORADO

ADVANCED

MT. DAVE RESEARCH
 11111 11111
 719-229-0010
 11111 11111



Colorado City Architectural Advisory Committee
 P.O. Box 20229
 Colorado City, Colorado 81019
 719 676-3396
 colocitymanager@ghvalley.net

Application will be considered for review only if it has been fully completed and received at the Colorado City Metropolitan District office or mailed to and received at the above address by 3p.m. on the Wednesday prior to the next regular meeting. All applications must be accompanied by a check or money order made out to "CCAAC" in the amount appropriate to the fee schedule featured on the back of this application.

Property Owner: McBee LLC Brandon McBee
 Mailing Address: 10739 Arnold Ln. City: Rye
 State: CO ZIP: 81069 Telephone: 719 229 0010

CONTRACTOR

Contractor: Mountain Homes LLC
 Mailing Address: '' City: ''
 State: '' ZIP: '' Telephone: ''

Requested approval for: Commercial building Home Shed Fence Other: R-2 cc R-2 County

Lot: 658 Unit: 1 Legal address, (please verify with CC Metro District): 4731 ST VRAIN DRIVE

Type construction: Stick Mobile homes: New Used - Year built: _____

Floor area square footage: 1040 Square footage required by covenants: 720

REQUIRED ITEMS for submittal of application:

- Legal description of property with legal address defined as street name & number
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- Location of street light (where required by covenants)
- Fence - type of materials, height, and locations
- Landscaping diagram (if not included in original plans, must be submitted later)
- Exterior color scheme, type of siding and roofing materials must be indicated

I have read and agree to abide by the unit's protective covenants for which this application is submitted:

Property owner's signature: Brandon McBee Date: 3-25-21

This application will not be accepted until you read and sign on reverse.

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- Preliminary plans should be brought before CCAAC for approval. One (1) complete set of plans and specifications for construction, including all required items listed on the opposite side of this page, must be submitted for approval. Drawings must be professionally prepared and acceptable for the Pueblo Regional Planning Department.
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New Single Family Residential	\$200.00
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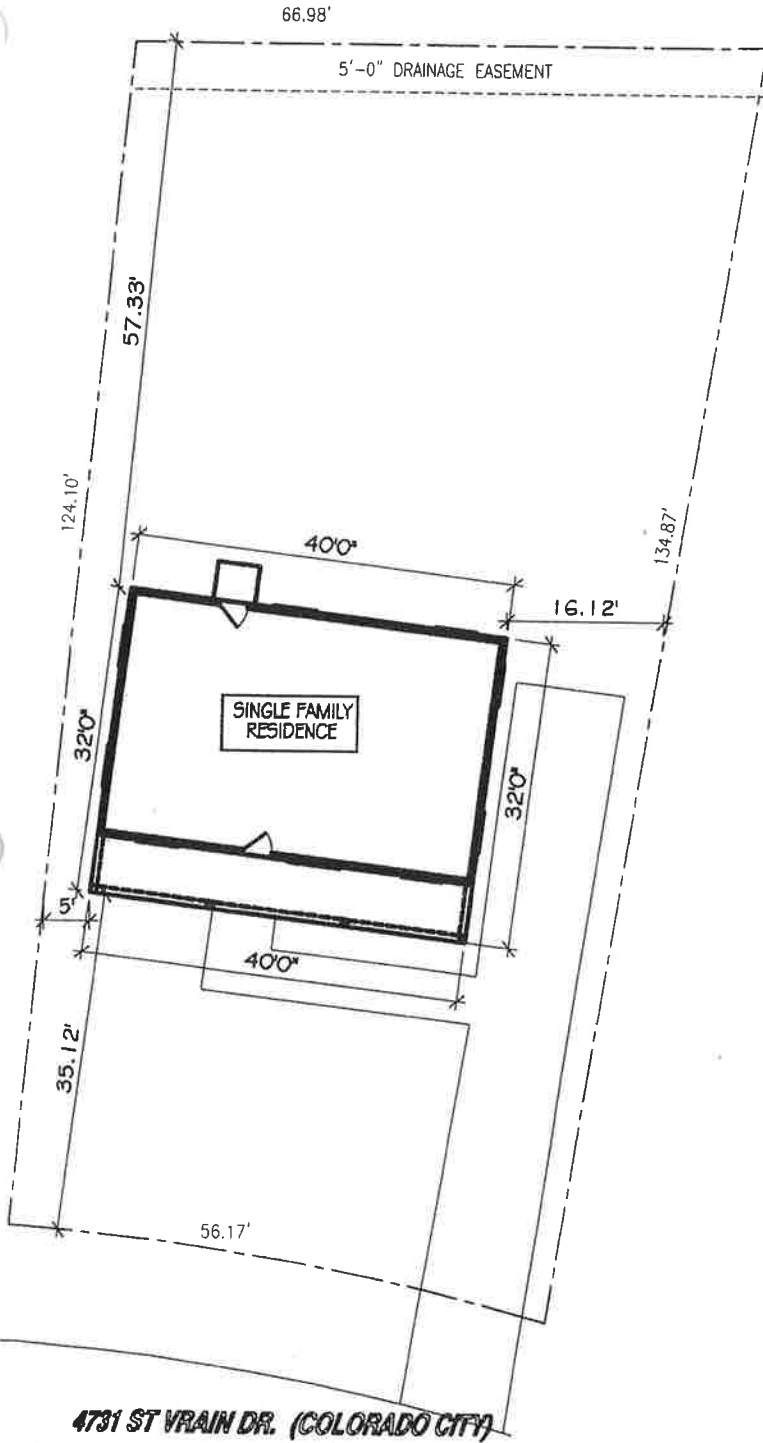
NOTE: A Late Fee amounting to double the original filing fee will be charged if filing application AFTER construction has begun. For instance, if filing after construction of a shed, that amount would be \$80 (\$40 application fee + \$40 late fee) and must accompany application.

I have read and understand the provisions of this application and understand that incomplete applications will be returned to me for the required information before being considered by CCAAC.

Property Owner Signature: Dustin McBee Date: 3-25-21

**PUEBLO COUNTY DEPARTMENT OF PLANNING
AND ZONING CHECKLIST**

INCLUDED	ASSASSOR'S PARCEL NUMBER	PARCEL SCHEDULE # 4723401395
INCLUDED	SQUARE FOOTAGE OF PROPOSED STRUCTURE	MAIN FLOOR LIVING TORPED TOTAL UNDER ROCK- 1290.0'
N/A	SQUARE FOOTAGE OF EXISTING STRUCTURE	N/A
INCLUDED	STRUCTURE HEIGHT	17'-0" OFF FINISHED GRADE
N/A	LOCATION # SIZE OF EXISTING FENCES, WALLS	N/A
INCLUDED	DIMENSIONS OF THE PARCEL	SEE PLOT
INCLUDED	EASEMENTS/BUILDING SETBACK LINES	SEE PLOT
INCLUDED	LEGAL DESCRIPTION	LOT 658 UNIT 1 COLORADO CITY
INCLUDED	ADDRESS OF PROPERTY	4731 ST VRAIN DR. (COLORADO CITY)
N/A	STREET NAME AND ADJACENT STREET	N/A
INCLUDED	NORTH ARROW	SEE PLOT
INCLUDED	ALL LOCATIONS # DISTANCES TO PROP. STRUCTURES	SEE PLOT
N/A	LOCATION # DISTANCES TO EXISTING STRUCTURES IF APPL.	N/A



4731 ST VRAIN DR. (COLORADO CITY)

PLOT PLAN

SCALE: 1" = 20'-0"

BUILDER/OWNER: MOUNTAIN HOMES, LLC- THE 1040 MODEL HOME

3-2021

ADDRESS: 4731 ST VRAIN DR. (COLORADO CITY)

LEGAL DESCRIPTION: LOT 658 UNIT 1 COLORADO CITY
PARCEL SCHEDULE # 4723401395

ATT. DAVE WEHRICH
702 POLK STREET
PUEBLO, COLORADO 81004

(719) 299-4784 fax
(719) 240-9468 cell
(719) 744-0544 office

EMAIL-dave@advanceddb.com
EMAIL-david.wehrich@yahoo.com



4731 St Vrain Dr
 CO City CO 80519

ABBREVIATIONS:

1.0	ASBESTOS	ASB	1.0	FOUNDATION	FOUND
1.1	ADDITIONAL	ADD	1.1	GENERAL	GEN
1.2	ADJUSTMENT	ADJ	1.2	MECHANICAL	MCHAN
1.3	ADULT	ADULT	1.3	ELECTRICAL	ELECTR
1.4	ADULT	ADULT	1.4	PLUMBING	PLUMB
1.5	ADULT	ADULT	1.5	PAINTING	PAINT
1.6	ADULT	ADULT	1.6	CONCRETE	CONCRETE
1.7	ADULT	ADULT	1.7	ROOFING	ROOF
1.8	ADULT	ADULT	1.8	GLAZING	GLAZING
1.9	ADULT	ADULT	1.9	INSULATION	INSULATION
1.10	ADULT	ADULT	1.10	LANDSCAPE	LANDSCAPE
1.11	ADULT	ADULT	1.11	ARCHITECTURAL	ARCHITECTURAL
1.12	ADULT	ADULT	1.12	STRUCTURAL	STRUCTURAL
1.13	ADULT	ADULT	1.13	MECHANICAL	MCHAN
1.14	ADULT	ADULT	1.14	ELECTRICAL	ELECTR
1.15	ADULT	ADULT	1.15	PLUMBING	PLUMB
1.16	ADULT	ADULT	1.16	PAINTING	PAINT
1.17	ADULT	ADULT	1.17	CONCRETE	CONCRETE
1.18	ADULT	ADULT	1.18	ROOFING	ROOF
1.19	ADULT	ADULT	1.19	GLAZING	GLAZING
1.20	ADULT	ADULT	1.20	INSULATION	INSULATION
1.21	ADULT	ADULT	1.21	LANDSCAPE	LANDSCAPE
1.22	ADULT	ADULT	1.22	ARCHITECTURAL	ARCHITECTURAL
1.23	ADULT	ADULT	1.23	STRUCTURAL	STRUCTURAL
1.24	ADULT	ADULT	1.24	MECHANICAL	MCHAN
1.25	ADULT	ADULT	1.25	ELECTRICAL	ELECTR
1.26	ADULT	ADULT	1.26	PLUMBING	PLUMB
1.27	ADULT	ADULT	1.27	PAINTING	PAINT
1.28	ADULT	ADULT	1.28	CONCRETE	CONCRETE
1.29	ADULT	ADULT	1.29	ROOFING	ROOF
1.30	ADULT	ADULT	1.30	GLAZING	GLAZING

GENERAL PROJECT NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 IBC AND LOCAL ORDINANCES.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND ADJACENT PROPERTIES AT ALL TIMES.

4. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.

5. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES ON THE SITE.

6. ALL DEMOLITION WORK SHALL BE COMPLETED PRIOR TO THE START OF NEW CONSTRUCTION.

7. THE CONTRACTOR SHALL MAINTAIN PROPER DRAINAGE AND EROSION CONTROL MEASURES THROUGHOUT THE PROJECT.

8. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

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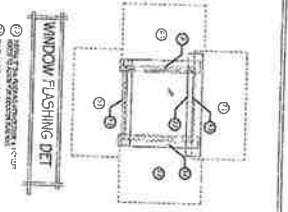
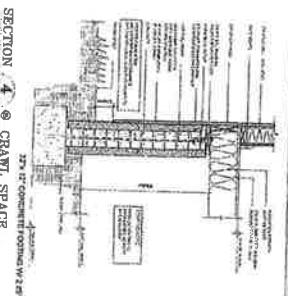
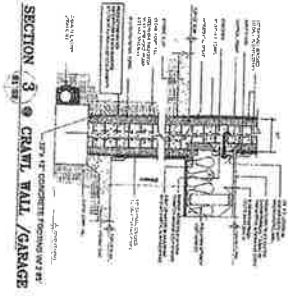
<p>PROJECT DIRECTORY</p> <p>BUILDER: NEW/OPEN</p> <p>DESIGNER: ATT. DAVE WORNICH 1702 702 STREET DENVER, CO 80202 303.455.1004 DWA@ADVANCEDARCHITECTS.COM WWW.ADVANCEDARCHITECTS.COM</p> <p>STRUCTURAL ENGINEER:</p>	<p>SHEET INDEX</p> <p>1.0 4 3 2.0 4 3 3.0 4 3</p> <p>TITLE SHEET/COVER SHEET/FLOOR PLAN MAIN SHEET/FLOOR PLAN</p>

ADVANCED ARCHITECTS
 ATT. DAVE WORNICH
 1702 702 STREET
 DENVER, COLORADO 80202
 303.455.1004
 DWA@ADVANCEDARCHITECTS.COM
 WWW.ADVANCEDARCHITECTS.COM

MOUNTAIN HOMES, LLC
 ATT. BRANDON MCBEE
 719.252.0010 KCOL PH 1

A SINGLE FAMILY RESIDENCE
for
THE 1040 MODEL HOME
 (COLORADO CITY) COLORADO

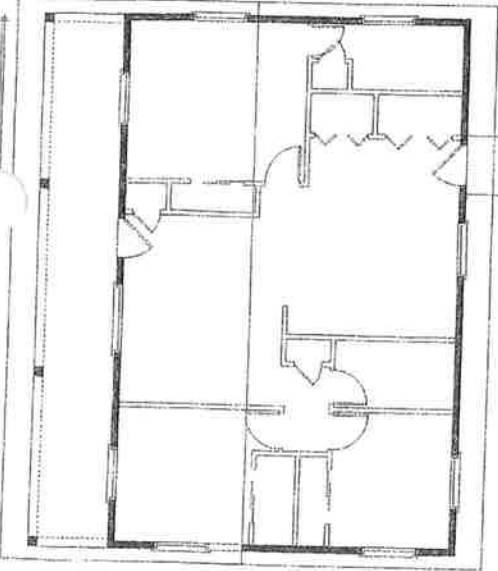
1.0 of THREE



- 1. 2\"/>
- 2. 1\"/>
- 3. 1\"/>
- 4. 1\"/>
- 5. 1\"/>
- 6. 1\"/>
- 7. 1\"/>
- 8. 1\"/>

FOUNDATION PLANS

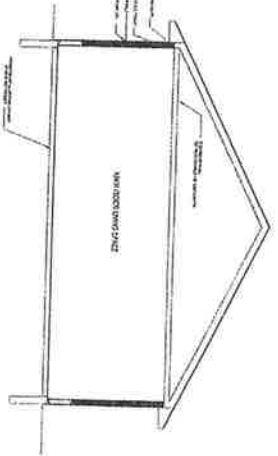
SCALE: 1/8" = 1'-0"



ROOF FRAMING PL

CROSS SECTION

SCALE: 1/8" = 1'-0"



ROOF EDCS

1. ALL ROOF STRUCTURE SHALL BE 2\"/>

2. ALL ROOF STRUCTURE SHALL BE 2\"/>

3. ALL ROOF STRUCTURE SHALL BE 2\"/>

4. ALL ROOF STRUCTURE SHALL BE 2\"/>

5. ALL ROOF STRUCTURE SHALL BE 2\"/>

6. ALL ROOF STRUCTURE SHALL BE 2\"/>

7. ALL ROOF STRUCTURE SHALL BE 2\"/>

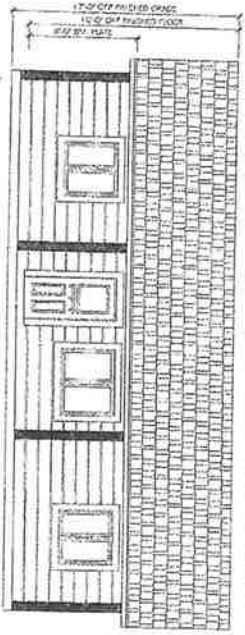
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9. ALL ROOF STRUCTURE SHALL BE 2\"/>

10. ALL ROOF STRUCTURE SHALL BE 2\"/>

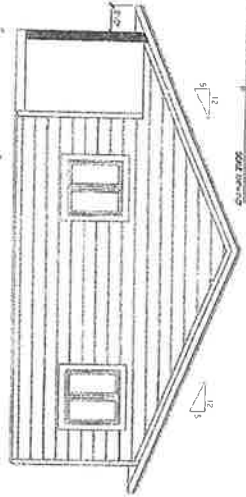
FRONT ELEVATION

SCALE: 1/8" = 1'-0"



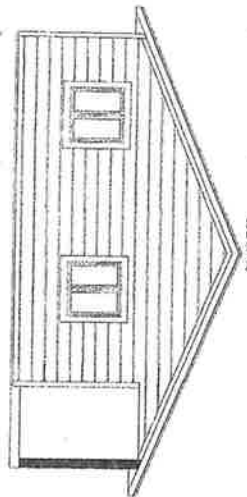
SIDE ELEVATION

SCALE: 1/8" = 1'-0"



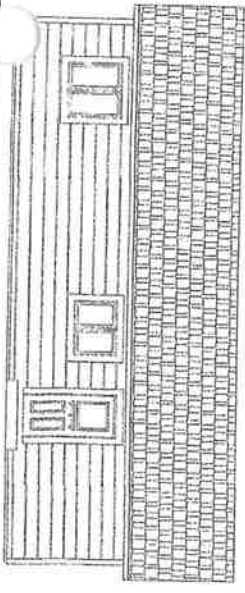
SIDE ELEVATION

SCALE: 1/8" = 1'-0"

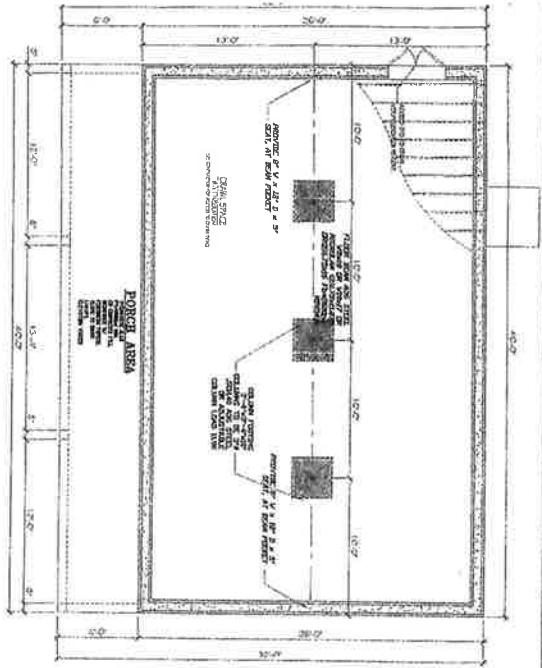


REAR ELEVATION

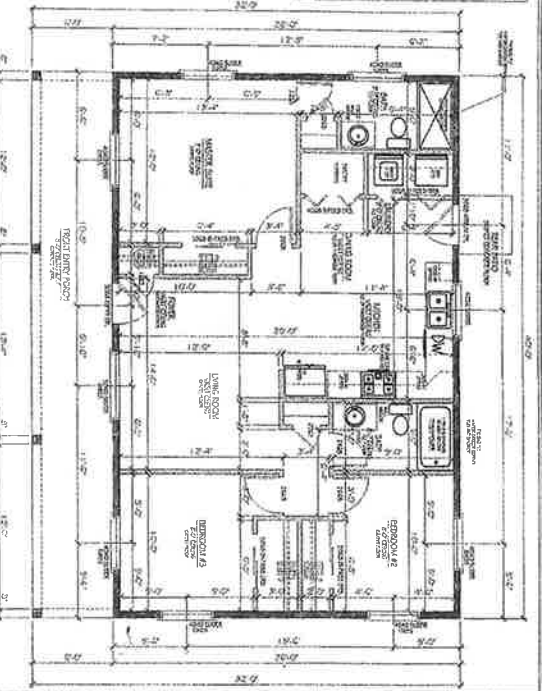
SCALE: 1/8" = 1'-0"



<p>ADVANCED</p> <p>ATT DAVE WERNICK 675 251-4244 675 251-4244 675 251-4244</p>	<p>MOUNTAIN HOMES, LLC ATT. BRANDON MCCREE 719 229-0000 (TOLL FREE)</p>	<p>A SINGLE FAMILY RESIDENCE for THE 1040 MODEL HOME 4970 CHERRY CREEK STREET (COLORADO CITY) COLORADO</p>	<p>2.0 of 24 PAGES</p>



GENERAL COMMENTS
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE COVERAGE.
 ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED.
 ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
 THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND ADJACENT PROPERTIES AT ALL TIMES.
 ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
 ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM THE ELEMENTS.
 THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORKING ENVIRONMENT AT ALL TIMES.
 ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.



MAIN STORY FLOOR PLANS
 SCALE: 1/8" = 1'-0"

ROOM NO.	ROOM NAME	AREA	PERMITS
1001	LIVING ROOM	1,200	12001
1002	DINING ROOM	800	12002
1003	KITCHEN	600	12003
1004	BEDROOM	1,100	12004
1005	BEDROOM	1,100	12005
1006	BEDROOM	1,100	12006
1007	BATH	400	12007
1008	BATH	400	12008
1009	BATH	400	12009
1010	HALL	200	12010
1011	CL. (CLOSET)	100	12011
1012	CL. (CLOSET)	100	12012
1013	CL. (CLOSET)	100	12013
1014	CL. (CLOSET)	100	12014
1015	CL. (CLOSET)	100	12015

NO OTHER WALLS PER E.I.

SCALE: 1/8" = 1'-0"

DATE: 10/15/2020

BY: [Signature]

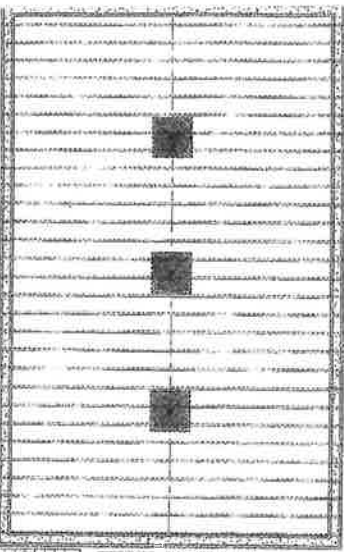


TABLE 1: JOIST AND BEAM SCHEDULE

ITEM	DESCRIPTION	QUANTITY	UNIT	NOTES
1	2x12 JOIST @ 16" OC	100	LF	
2	2x10 BEAM @ 12" OC	20	LF	
3	2x12 BEAM @ 12" OC	10	LF	
4	2x10 BEAM @ 16" OC	10	LF	
5	2x12 BEAM @ 16" OC	10	LF	
6	2x10 JOIST @ 24" OC	50	LF	
7	2x12 JOIST @ 24" OC	50	LF	
8	2x10 JOIST @ 32" OC	25	LF	
9	2x12 JOIST @ 32" OC	25	LF	
10	2x10 JOIST @ 40" OC	15	LF	
11	2x12 JOIST @ 40" OC	15	LF	
12	2x10 JOIST @ 48" OC	10	LF	
13	2x12 JOIST @ 48" OC	10	LF	
14	2x10 JOIST @ 60" OC	5	LF	
15	2x12 JOIST @ 60" OC	5	LF	

TABLE 1: JOIST AND BEAM SCHEDULE

FLOOR FRAMING PLANS
 SCALE: 1/8" = 1'-0"

DATE: 10/15/2020

BY: [Signature]

NO OTHER WALLS PER E.I.

SCALE: 1/8" = 1'-0"

DATE: 10/15/2020

BY: [Signature]

NO OTHER WALLS PER E.I.

SCALE: 1/8" = 1'-0"

DATE: 10/15/2020

BY: [Signature]

NO OTHER WALLS PER E.I.

SCALE: 1/8" = 1'-0"

DATE: 10/15/2020

BY: [Signature]

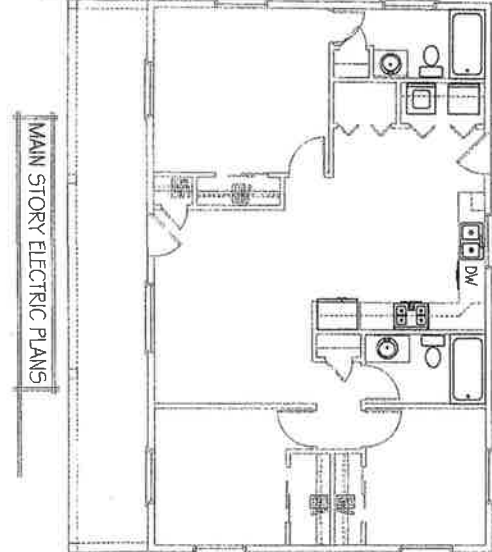
NO OTHER WALLS PER E.I.

SCALE: 1/8" = 1'-0"

DATE: 10/15/2020

BY: [Signature]

MAIN STORY ELECTRIC PLANS
 SCALE: 1/8" = 1'-0"



3.0
 of
THIRTEEN

MOUNTAIN HOMES, LLC
 ATTY. BRANDON MCBEE
 719.628.8181

DATE: 10/15/2020

BY: [Signature]

A SINGLE FAMILY RESIDENCE
THE 1040 MODEL HOME
 1970 CHERRY CREEK STREET (COLORADO CITY) COLORADO

FOR MORE INFORMATION
 CONTACT US AT
 719.628.8181

ATT. DAN WENGER
 719.628.8181



FOR MORE INFORMATION
 CONTACT US AT
 719.628.8181



Application will be considered for review only if it has been fully completed and received at the Colorado City Metropolitan District office or mailed to and received at the above address by 3p.m. on the Wednesday prior to the next regular meeting. All applications must be accompanied by a check or money order made out to "CCAAC" in the amount appropriate to the fee schedule featured on the back of this application.

Property Owner: McBDev LLC Brandon McDev
 Mailing Address: 10739 Arnold Ln. City: Rye
 State: CO ZIP: 81069 Telephone: 719 229 0010

CONTRACTOR

Contractor: Mountain Homes LLC
 Mailing Address: '' City: ''
 State: '' ZIP: '' Telephone: ''

Requested approval for: Commercial building Home Shed Fence Other: CCMD R-1/2 PC R-2

Lot: 648 Unit: 1 Legal address, (please verify with CC Metro District): 4736 ST VRAIN DR

Type construction: Stick Mobile homes: New Used - Year built: _____

Floor area square footage: 1040 Square footage required by covenants: 720

REQUIRED ITEMS for submittal of application:

- Legal description of property with legal address defined as street name & number
- Plot plans to scale (indicate scale)
- Property line staked out corners
- Foundation plan and Building staked out before Excavation
- One (1) copy of blue print and One (1) electronic copy sent to manager
- Location of improvements on property - NOTE: front of house must face legal address
- Exterior dimensions - both primary and secondary buildings
- Elevations - front, back, sides
- Accurate setbacks drawn to scale (include easements)
- Distances between buildings
- Location of improvements (porches, decks, garages, carports, driveways, accessory buildings, landscaping)
- Location of propane tank, where applicable
- Location of street light (where required by covenants)
- Fence - type of materials, height, and locations
- Landscaping diagram (if not included in original plans, must be submitted later)
- Exterior color scheme, type of siding and roofing materials must be indicated

have read and agree to abide by the unit's protective covenants for which this application is submitted:

Property owner's signature: Brandon McDev Date: 3-25-21

This application will not be accepted until you read and sign on reverse.

CONDITIONS APPLYING TO THIS APPLICATION

- It is clearly understood that the granting of architectural approval does not relieve the owner or building of compliance with Pueblo County Zoning Resolutions and/or Building Codes and Subdivision Regulations; It is also understood that the construction shall commence within 90 days of Colorado City Architectural Advisory Committee (CCAAC) approval. Actual construction period shall not exceed 180 days without committee approval. Failure to comply with these time limitations automatically terminates CCAAC approval. Any changes made to the submitted plans, either before or during construction, must be approved by CCAAC; or applying to the owner's unit. Copies of the covenants are available at the Colorado City Metropolitan District office or at www.colorado.gov/coloradocitymetro.
- Preliminary plans should be brought before CCAAC for approval. One (1) complete set of plans and specifications for construction, including all required items listed on the opposite side of this page, must be submitted for approval. Drawings must be professionally prepared and acceptable for the Pueblo Regional Planning Department.
- CCAAC meets the first and last Tuesdays of each month. After reviewing plans and specifications, CCAAC will approve the submitted plans by the next regular meeting (providing all requirements have been met). The Committee will retain one (1) set of approved plans. Incomplete applications will not be placed on a meeting agenda but will be returned to property owners for completion of missing information.
- Construction must not commence until you have received a Letter of Approval from CCAAC. As stated above, omissions of any information will delay the approval process. All construction must be confined to the lot listed on the reverse side of this document. Greenbelts and adjacent lots must not be used as access or storage during construction.
- CCAAC is not responsible for any monetary losses you incur; therefore, you are encouraged to obtain approval before proceeding with construction or purchases affected by this application.

CCAAC Fee Schedule

Please note that a check or money order for the appropriate amount must be included with your application

Commercial/Industrial	\$400.00
Multifamily Residential	\$300.00
New Single Family Residential	\$200.00
Sheds/Fences/Garages/Carports/Decks	\$ 40.00
Remodeling Residential	\$ 50.00
Re-Roofing	\$ 25.00

NOTE: A Late Fee amounting to double the original filing fee will be charged if filing application AFTER construction has begun. For instance, if filing after construction of a shed, that amount would be \$80 (\$40 application fee + \$40 late fee) and must accompany application.

I have read and understand the provisions of this application and understand that incomplete applications will be returned to me for the required information before being considered by CCAAC.

Property Owner Signature:

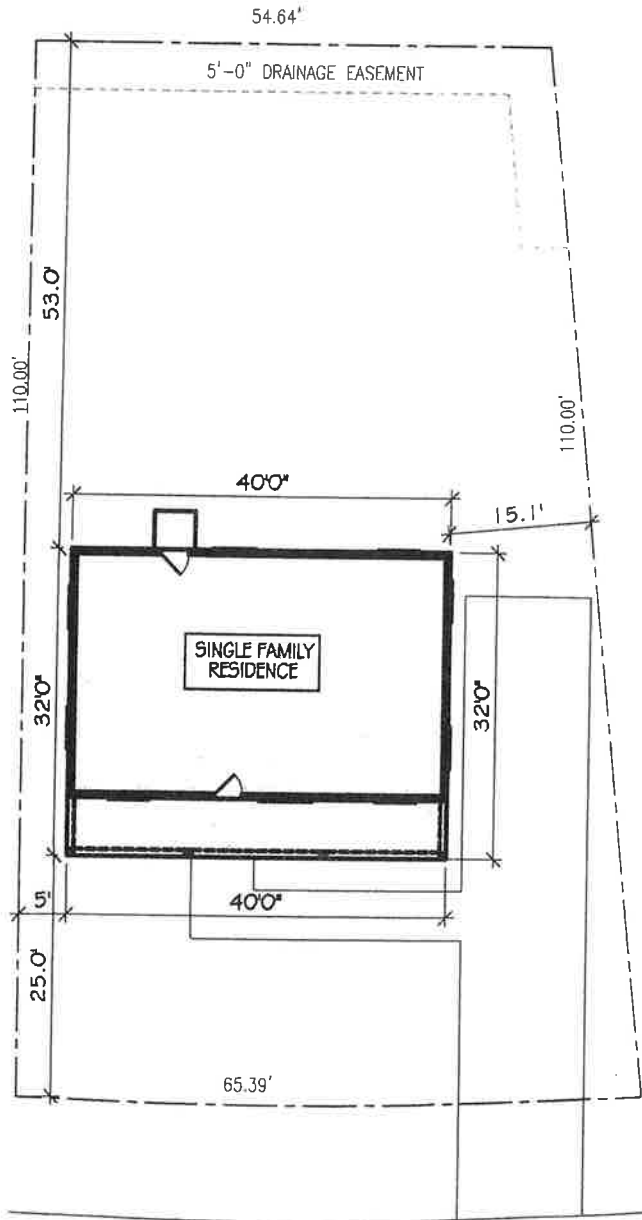
Daniel McBee

Date:

3-25-21

**PUEBLO COUNTY DEPARTMENT OF PLANNING
AND ZONING CHECKLIST**

INCLUDED	o ASSESSOR'S PARCEL NUMBER	PARCEL SCHEDULE # 4723401218
INCLUDED	o SQUARE FOOTAGE OF PROPOSED STRUCTURE	MAIN FLOOR LIVING 1040.0 TOTAL UNDER ROOF: 1290.0
N/A	o SQUARE FOOTAGE OF EXISTING STRUCTURE	N/A
INCLUDED	o STRUCTURE HEIGHT	17'-0" OFF FINISHED GRADE
N/A	o LOCATION & SIZE OF EXISTING FENCES, WALLS	N/A
INCLUDED	o DIMENSIONS OF THE PARCEL	SEE PLOT
INCLUDED	o EASEMENTS/BUILDING SETBACK LINES	SEE PLOT
INCLUDED	o LEGAL DESCRIPTION	LOT 648 UNIT 1 COLORADO CITY 4736 ST VRAIN DR. (COLORADO CITY)
INCLUDED	o ADDRESS OF PROPERTY	(COLORADO CITY)
N/A	o STREET NAME AND ADJACENT STREET	N/A
INCLUDED	o NORTH ARROW	SEE PLOT
INCLUDED	o ALL LOCATIONS & DISTANCES TO PROP. STRUCTURES	SEE PLOT
N/A	o LOCATION & DISTANCES TO EXISTING STRUCTURES IF APPL.	N/A



4736 ST VRAIN DR. (COLORADO CITY)

PLOT PLAN
SCALE: 1" = 20'-0"

BUILDER/OWNER:	MOUNTAIN HOMES, LLC- THE 1040 MODEL HOME
	3-2021
ADDRESS:	4736 ST VRAIN DR. (COLORADO CITY)
LEGAL DESCRIPTION:	LOT 648 UNIT 1 COLORADO CITY PARCEL SCHEDULE # 4723401218

ATT. DAVE WEHRICH
702 POLK STREET
PUEBLO, COLORADO 81004
(719) 299-4764 fax
(719) 240-9468 cell
(719) 744-0544 office
EMAIL-dave@advanceddb.com
EMAIL-david.wehrich@yahoo.com

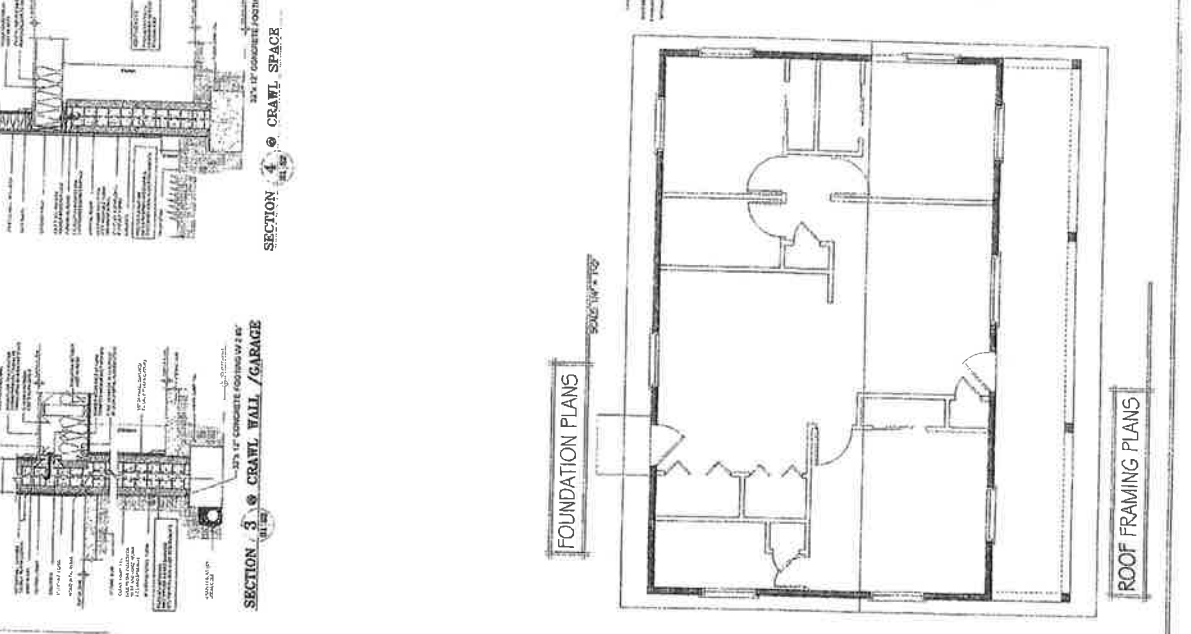
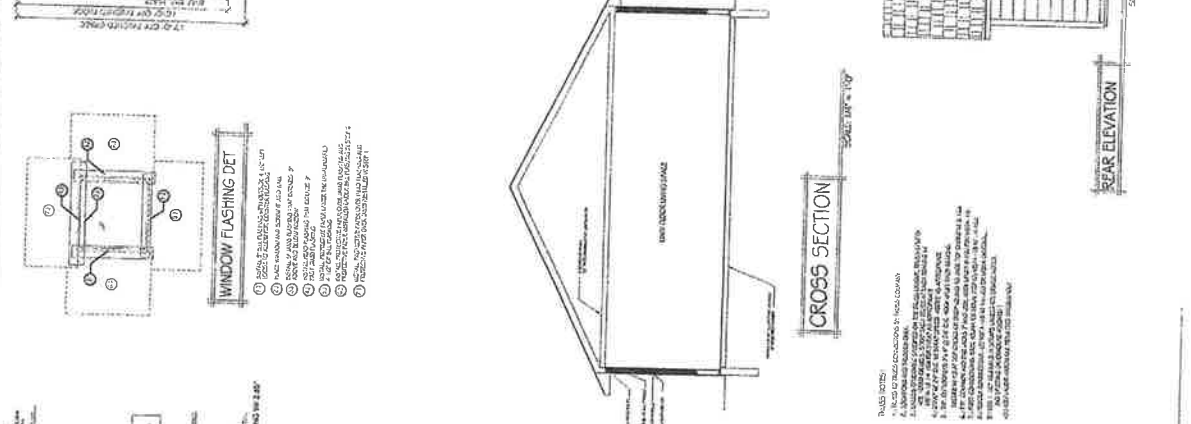
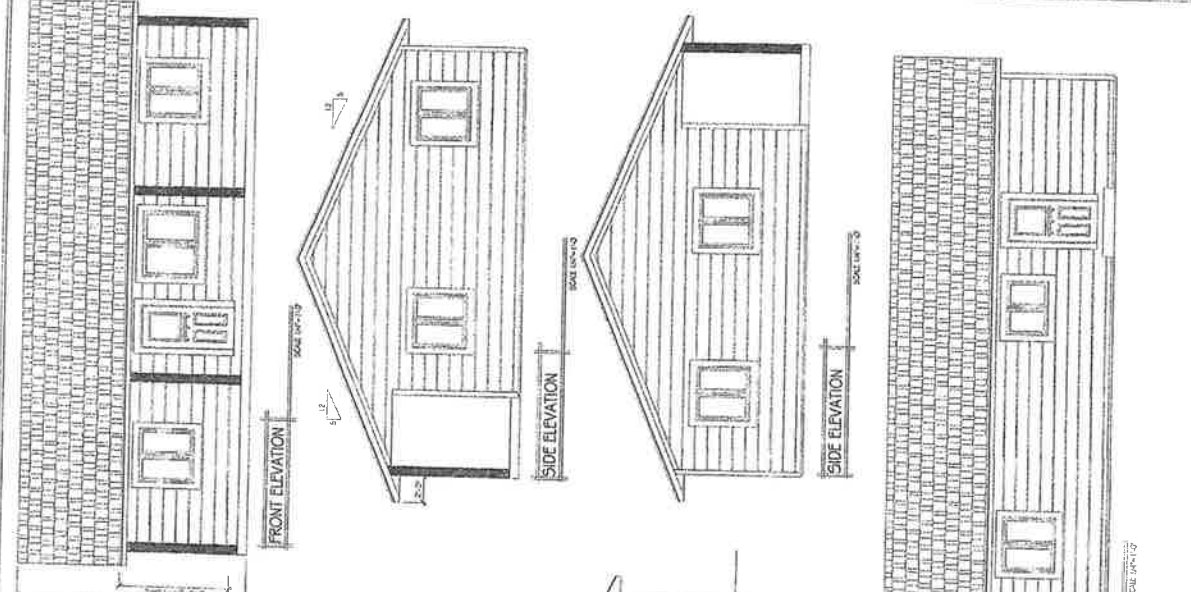


ADVANCED
ATT. DAVE WARBACH
720 FOX STREET
DENVER, CO 80202
303.733.1111
www.advanced.com

A SINGLE FAMILY RESIDENCE
THE 1000 MODEL HOME
4970 CHERRY CREEK STREET (COLORADO CITY) COLORADO

MOUNTAIN HOMES, L.L.C.
ATT. BRANDON MOORE
719.299.0124 (TX) TX
1000 #
SHEET #
DATE 11/11/2011

2.0 of 11



FOUNDATION PLANS SCALE: 1/4" = 1'-0"

ROOF FRAMING PLANS SCALE: 1/4" = 1'-0"

SECTION 5 @ CRAWL WALL / GARAGE SCALE: 1/4" = 1'-0"

SECTION 4 @ CRAWL SPACE SCALE: 1/4" = 1'-0"

WINDOW FLASHING DET SCALE: 1/4" = 1'-0"

CROSS SECTION SCALE: 1/4" = 1'-0"

FRONT ELEVATION SCALE: 1/8" = 1'-0"

SIDE ELEVATION SCALE: 1/8" = 1'-0"

SIDE ELEVATION SCALE: 1/8" = 1'-0"

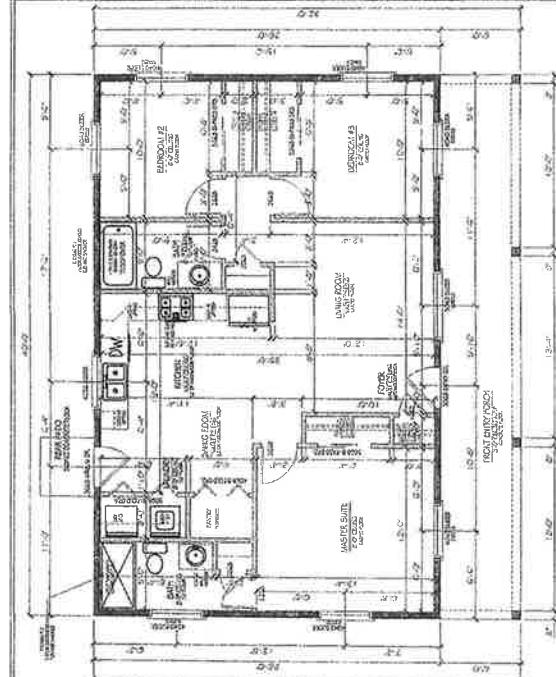
REAR ELEVATION SCALE: 1/8" = 1'-0"

MOUNTAIN HOMES, LLC
 715 223 0010 (CALL)
 715 223 0011 (TEXT)

A SINGLE FAMILY RESIDENCE
THE 1040 MODEL HOME
 4970 CHERRY CREEK STREET (COLORADO CITY) COLORADO

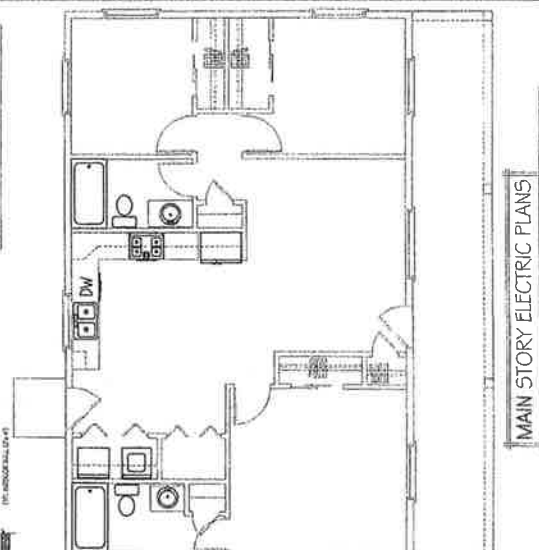
ADVANCED
 A.T.T. DAVE VORSECH
 702 625 5727
 4970 CHERRY CREEK STREET
 COLORADO CITY, CO 80101
 WWW.ADVANCEDFRAMING.COM

CONTRACTOR'S NOTE: ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.



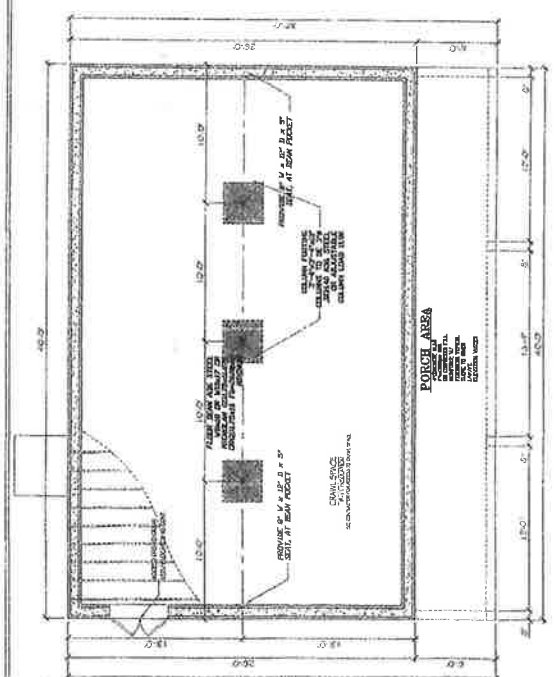
MAIN STORY FLOOR PLANS
 SCALE: 1/4" = 1'-0"

DATE	11/15/10
BY	DAVE VORSECH
CHECKED	DAVE VORSECH
APP. NO.	1040-01



MAIN STORY ELECTRIC PLANS

GENERAL NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.



FLOOR FRAMING P.
 SCALE: 1/4" = 1'-0"

FOUNDATION SCHEDULE

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	4" DIA. CONCRETE PIPES	12	EA	1.50	18.00
2	4" DIA. CONCRETE PIPES	12	EA	1.50	18.00
3	4" DIA. CONCRETE PIPES	12	EA	1.50	18.00
4	4" DIA. CONCRETE PIPES	12	EA	1.50	18.00
5	4" DIA. CONCRETE PIPES	12	EA	1.50	18.00
6	4" DIA. CONCRETE PIPES	12	EA	1.50	18.00
7	4" DIA. CONCRETE PIPES	12	EA	1.50	18.00
8	4" DIA. CONCRETE PIPES	12	EA	1.50	18.00
9	4" DIA. CONCRETE PIPES	12	EA	1.50	18.00
10	4" DIA. CONCRETE PIPES	12	EA	1.50	18.00
11	4" DIA. CONCRETE PIPES	12	EA	1.50	18.00
12	4" DIA. CONCRETE PIPES	12	EA	1.50	18.00
13	4" DIA. CONCRETE PIPES	12	EA	1.50	18.00
14	4" DIA. CONCRETE PIPES	12	EA	1.50	18.00
15	4" DIA. CONCRETE PIPES	12	EA	1.50	18.00
16	4" DIA. CONCRETE PIPES	12	EA	1.50	18.00
17	4" DIA. CONCRETE PIPES	12	EA	1.50	18.00
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100	4" DIA. CONCRETE PIPES	12	EA	1.50	18.00



Colorado City Architectural Advisory Committee
 P.O. Box 20229
 Colorado City, Colorado 81019
 719 676-3396
 colocitymanager@ghvalley.net

Application will be considered for review only if it has been fully completed and received at the Colorado City Metropolitan District Office or mailed to and received at the above address by 3p.m. on the Wednesday prior to the next regular meeting. All applications must be accompanied by a check or money order made out to "CCAAC" in the amount appropriate to the fee schedule featured on the back of this application.

Property Owner: McBee LLC Brandon McBee
 Mailing Address: 10739 Arnold Ln. City: Rye
 State: CO ZIP: 81069 Telephone: 719 229 0010

CONTRACTOR			
Contractor:	<u>Mountain Homes LLC</u>		
Mailing Address:	<u>11</u>		
State:	<u>11</u>	ZIP:	<u>11</u>
		Telephone:	<u>11</u>

Requested approval for: Commercial building Home Shed Fence Other: _____
CCMD R-1/2 PC-R-2

Lot: 663 Unit: 1 Legal address, (please verify with CC Metro District): 4757 ST VRAIN DR

Type construction: Stick Mobile homes: New Used - Year built: _____

Floor area square footage: 1040 Square footage required by covenants: _____

REQUIRED ITEMS for submittal of application:

- Legal description of property with legal address defined as street name & number
- Plot plans to scale (indicate scale)
- Property line staked out corners
- Foundation plan and Building staked out before Excavation
- One (1) copy of blue print and One (1) electronic copy sent to manager
- Location of improvements on property - NOTE: front of house must face legal address
- Exterior dimensions - both primary and secondary buildings
- Elevations - front, back, sides
- Accurate setbacks drawn to scale (include easements)
- Distances between buildings
- Location of improvements (porches, decks, garages, carports, driveways, accessory buildings, landscaping)
- Location of propane tank, where applicable
- Location of street light (where required by covenants)
- Fence - type of materials, height, and locations
- Landscaping diagram (if not included in original plans, must be submitted later)
- Exterior color scheme, type of siding and roofing materials must be indicated

have read and agree to abide by the unit's protective covenants for which this application is submitted:

Property owner's signature: Brandon McBee Date: 3-25-21

This application will not be accepted until you read and sign on reverse.

CONDITIONS APPLYING TO THIS APPLICATION

- It is clearly understood that the granting of architectural approval does not relieve the owner or building of compliance with Pueblo County Zoning Resolutions and/or Building Codes and Subdivision Regulations; It is also understood that the construction shall commence within 90 days of Colorado City Architectural Advisory Committee (CCAAC) approval. Actual construction period shall not exceed 180 days without committee approval. Failure to comply with these time limitations automatically terminates CCAAC approval. Any changes made to the submitted plans, either before or during construction, must be approved by CCAAC; or applying to the owner's unit. Copies of the covenants are available at the Colorado City Metropolitan District office or at www.colorado.gov/coloradocitymetro.
- Preliminary plans should be brought before CCAAC for approval. One (1) complete set of plans and specifications for construction, including all required items listed on the opposite side of this page, must be submitted for approval. Drawings must be professionally prepared and acceptable for the Pueblo Regional Planning Department.
- CCAAC meets the first and last Tuesdays of each month. After reviewing plans and specifications, CCAAC will approve the submitted plans by the next regular meeting (providing all requirements have been met). The Committee will retain one (1) set of approved plans. Incomplete applications will not be placed on a meeting agenda but will be returned to property owners for completion of missing information.
- Construction must not commence until you have received a Letter of Approval from CCAAC. As stated above, omissions of any information will delay the approval process. All construction must be confined to the lot listed on the reverse side of this document. Greenbelts and adjacent lots must not be used as access or storage during construction.
- CCAAC is not responsible for any monetary losses you incur; therefore, you are encouraged to obtain approval before proceeding with construction or purchases affected by this application.

CCAAC Fee Schedule

Please note that a check or money order for the appropriate amount must be included with your application

Commercial/Industrial	\$400.00
Multifamily Residential	\$300.00
New Single Family Residential	\$200.00
Sheds/Fences/Garages/Carports/Decks	\$ 40.00
Remodeling Residential	\$ 50.00
Re-Roofing	\$ 25.00

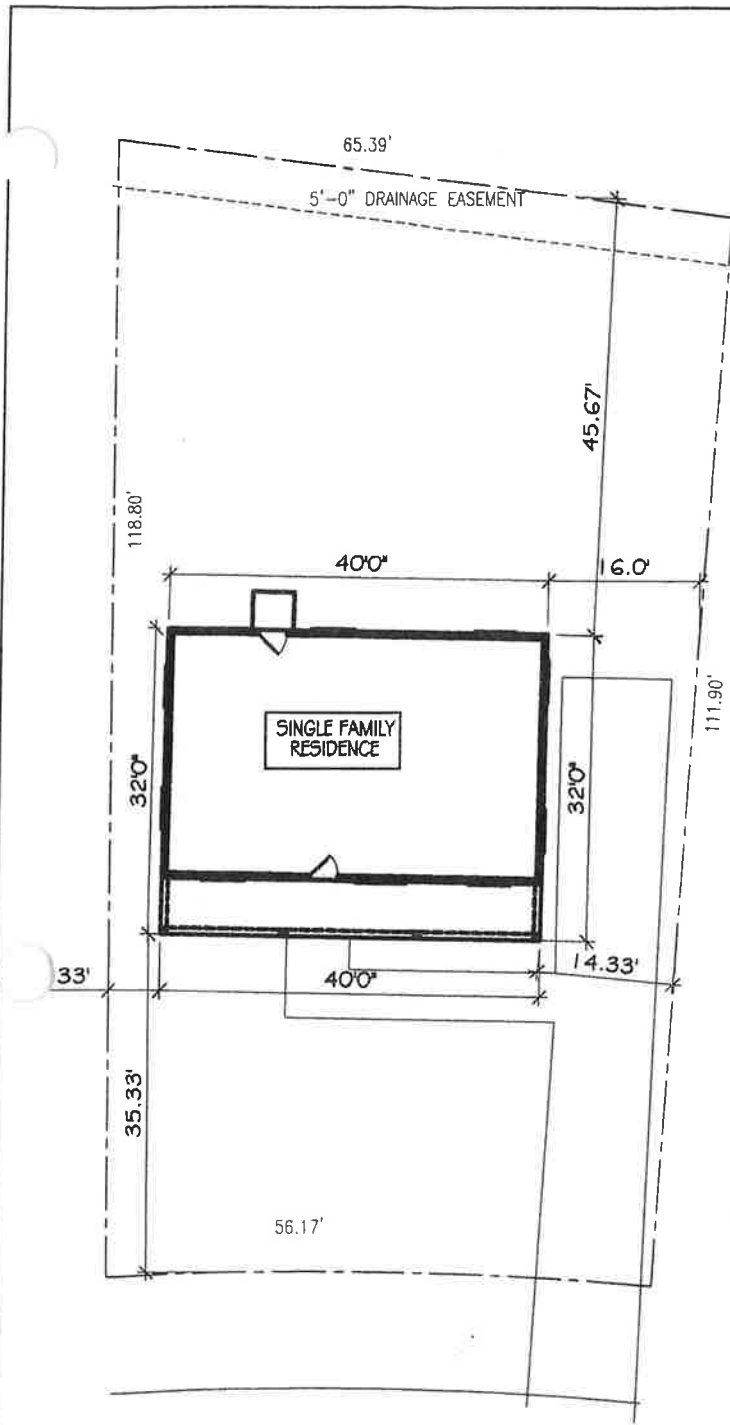
NOTE: A Late Fee amounting to double the original filing fee will be charged if filing application AFTER construction has begun. For instance, if filing after construction of a shed, that amount would be \$80 (\$40 application fee + \$40 late fee) and must accompany application.

I have read and understand the provisions of this application and understand that incomplete applications will be returned to me for the required information before being considered by CCAAC.

Property Owner Signature: *Dale M. Bue* Date: 3-25-21

PUEBLO COUNTY DEPARTMENT OF PLANNING
AND ZONING CHECKLIST

INCLUDED	ASSESSOR'S PARCEL NUMBER	PARCEL SCHEDULE # 4723401257
INCLUDED	SQUARE FOOTAGE OF PROPOSED STRUCTURE	MAIN FLOOR LIVING 1040.0 TOTAL UNDER ROOF: 1290.0
N/A	SQUARE FOOTAGE OF EXISTING STRUCTURE	N/A
INCLUDED	STRUCTURE HEIGHT	17'-0" OFF FINISHED GRADE
N/A	LOCATION & SIZE OF EXISTING FENCES, WALLS	N/A
INCLUDED	DIMENSIONS OF THE PARCEL	SEE PLOT
INCLUDED	EASEMENTS/BUILDING SETBACK LINES	SEE PLOT
INCLUDED	LEGAL DESCRIPTION	LOT 663 UNIT 1 COLORADO CITY 4757 ST VRAIN DR. (COLORADO CITY)
INCLUDED	ADDRESS OF PROPERTY	SEE PLOT
N/A	STREET NAME AND ADJACENT STREET	N/A
INCLUDED	NORTH ARROW	SEE PLOT
INCLUDED	ALL LOCATIONS & DISTANCES TO PROP. STRUCTURES	SEE PLOT
N/A	LOCATION & DISTANCES TO EXISTING STRUCTURES IF APPL	N/A



4757 ST VRAIN DR. (COLORADO CITY)

PLOT PLAN

SCALE: 1" = 20'-0"

BUILDER/OWNER: MOUNTAIN HOMES, LLC- THE 1040 MODEL HOME

3-2021

ADDRESS: 4757 ST VRAIN DR. (COLORADO CITY)

LEGAL DESCRIPTION: LOT 663 UNIT 1 COLORADO CITY
PARCEL SCHEDULE # 4723401257

ATT. DAVE WEHRICH
702 POLK STREET
PUEBLO, COLORADO 81004

(719) 299-4784 fax
(719) 240-9468 cell
(719) 744-0544 office

EMAIL: dave@advanceddb.com
EMAIL: dave.wehrich@yahoo.com



4757 St Vrain Dr
 Co City CO 81019

GENERAL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND THE INTERNATIONAL RESIDENTIAL CODES (IRC).
2. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
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ABBREVIATIONS:

AC	ACROBATIC	AC	ACROBATIC	AC	ACROBATIC
AD	ADULT	AD	ADULT	AD	ADULT
AE	ARCHITECTURAL	AE	ARCHITECTURAL	AE	ARCHITECTURAL
AF	ARCHITECTURAL FINISH	AF	ARCHITECTURAL FINISH	AF	ARCHITECTURAL FINISH
AG	ARCHITECTURAL GRADING	AG	ARCHITECTURAL GRADING	AG	ARCHITECTURAL GRADING
AH	ARCHITECTURAL HATCH	AH	ARCHITECTURAL HATCH	AH	ARCHITECTURAL HATCH
AI	ARCHITECTURAL INTERIOR	AI	ARCHITECTURAL INTERIOR	AI	ARCHITECTURAL INTERIOR
AJ	ARCHITECTURAL JOINT	AJ	ARCHITECTURAL JOINT	AJ	ARCHITECTURAL JOINT
AK	ARCHITECTURAL KITCHEN	AK	ARCHITECTURAL KITCHEN	AK	ARCHITECTURAL KITCHEN
AL	ARCHITECTURAL LIVING	AL	ARCHITECTURAL LIVING	AL	ARCHITECTURAL LIVING
AM	ARCHITECTURAL MATERIAL	AM	ARCHITECTURAL MATERIAL	AM	ARCHITECTURAL MATERIAL
AN	ARCHITECTURAL NOTE	AN	ARCHITECTURAL NOTE	AN	ARCHITECTURAL NOTE
AO	ARCHITECTURAL OFFICE	AO	ARCHITECTURAL OFFICE	AO	ARCHITECTURAL OFFICE
AP	ARCHITECTURAL PLAN	AP	ARCHITECTURAL PLAN	AP	ARCHITECTURAL PLAN
AQ	ARCHITECTURAL QUANTITY	AQ	ARCHITECTURAL QUANTITY	AQ	ARCHITECTURAL QUANTITY
AR	ARCHITECTURAL ROOM	AR	ARCHITECTURAL ROOM	AR	ARCHITECTURAL ROOM
AS	ARCHITECTURAL SECTION	AS	ARCHITECTURAL SECTION	AS	ARCHITECTURAL SECTION
AT	ARCHITECTURAL TYPING	AT	ARCHITECTURAL TYPING	AT	ARCHITECTURAL TYPING
AU	ARCHITECTURAL UNIT	AU	ARCHITECTURAL UNIT	AU	ARCHITECTURAL UNIT
AV	ARCHITECTURAL VENTILATION	AV	ARCHITECTURAL VENTILATION	AV	ARCHITECTURAL VENTILATION
AW	ARCHITECTURAL WALL	AW	ARCHITECTURAL WALL	AW	ARCHITECTURAL WALL
AX	ARCHITECTURAL WINDOW	AX	ARCHITECTURAL WINDOW	AX	ARCHITECTURAL WINDOW
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PROJECT DIRECTORY

PULLER-DEVELOPER:	1. D. & S. ELEVATIONS	SHEET INDEX
DESIGNER:	2. D. & S. MAIN FLOOR PLANS	
ADVANCED STRUCTURAL ENGINEER:	PLAN ISSUE AND RELEASE	
ATT. DAVE WORBICH 715 529-1100 715 529-1101 715 529-1102 715 529-1103 715 529-1104 715 529-1105 715 529-1106 715 529-1107 715 529-1108 715 529-1109 715 529-1110	ISSUE REVISED 10/2020	RELEASE DATE

ADVANCED

ATT. DAVE WORBICH
715 529-1100
715 529-1101
715 529-1102
715 529-1103
715 529-1104
715 529-1105
715 529-1106
715 529-1107
715 529-1108
715 529-1109
715 529-1110

A SINGLE FAMILY RESIDENCE

for

THE 1040 MODEL HOME

(COLORADO CITY) COLORADO

1.0

of

THIRTEEN

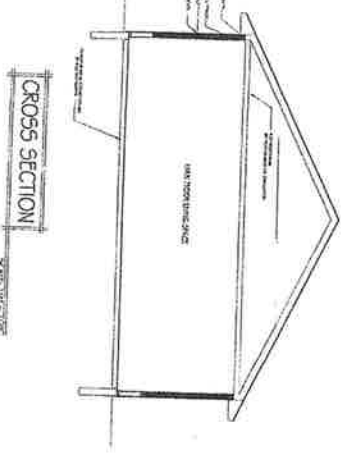
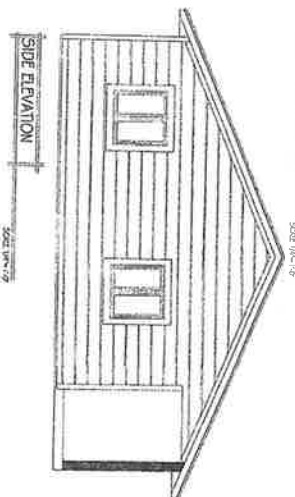
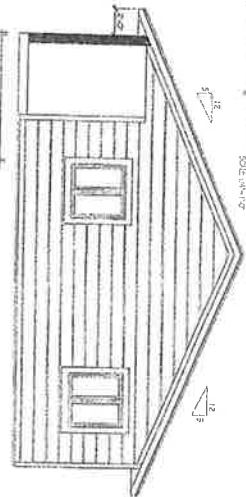
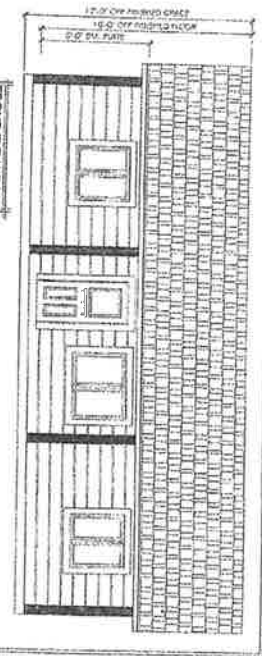
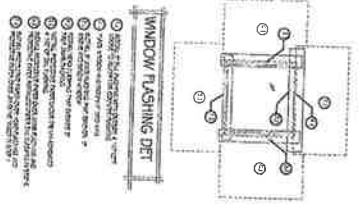
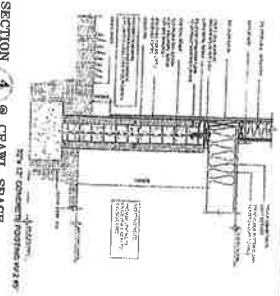
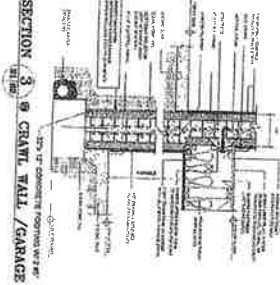
MOUNTAIN HOMES, LLC

ATT. BRANDON MCBEE
715 529-1100

1.0

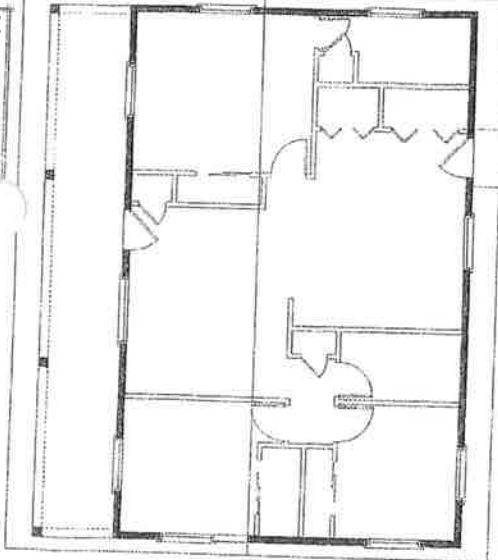
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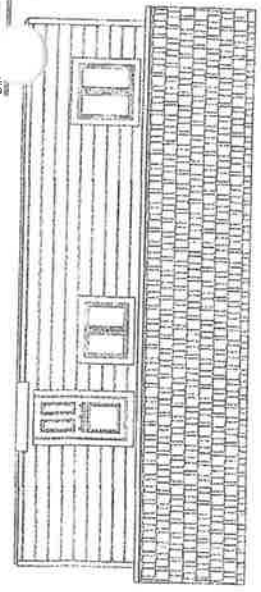
- FINISH NOTES**
1. CHIMNEY AND ROOFING TO BE PERMITTED.
 2. CHIMNEY AND ROOFING TO BE PERMITTED.
 3. CHIMNEY AND ROOFING TO BE PERMITTED.
 4. CHIMNEY AND ROOFING TO BE PERMITTED.
 5. CHIMNEY AND ROOFING TO BE PERMITTED.
 6. CHIMNEY AND ROOFING TO BE PERMITTED.
 7. CHIMNEY AND ROOFING TO BE PERMITTED.
 8. CHIMNEY AND ROOFING TO BE PERMITTED.
 9. CHIMNEY AND ROOFING TO BE PERMITTED.
 10. CHIMNEY AND ROOFING TO BE PERMITTED.

FOUNDATION PLANS

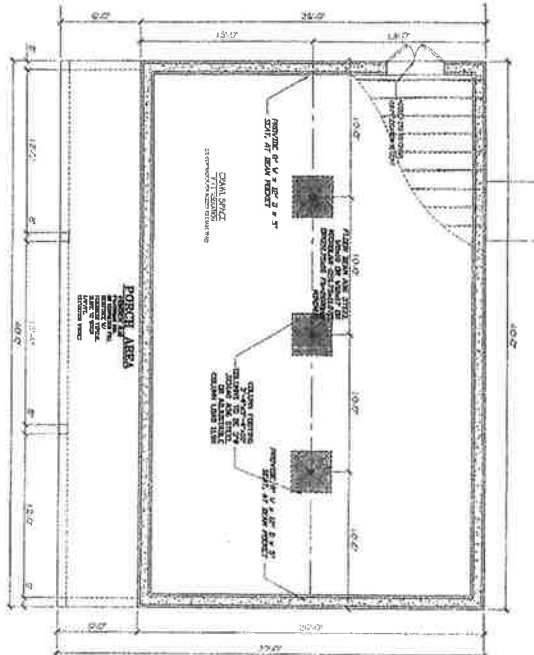


ROOF FRAMING PLA

REAR ELEVATION



<p>2.0</p> <p>of</p>	<p>MOUNTAIN HOMES, LLC ATT. BRANDON MCBE 719-273-0010 (LOCAL 711)</p>	<p>A SINGLE FAMILY RESIDENCE for THE 1040 MODEL HOME 4970 CHERRY CREEK STREET (COLORADO CITY) COLORADO</p>	<p>ADVANCED</p> <p>ATT. DAVE BERENSON 703-724-5100 703-724-5100 703-724-5100 703-724-5100 703-724-5100</p>	<p>FOR MORE INFORMATION CALL 703-724-5100 OR VISIT OUR WEBSITE WWW.ADVANCEDCONSTRUCTION.COM</p>
	<p>DATE: 7-23-2009</p>	<p>SCALE: 1/8\"/> </p>	<p>PROJECT: 1040 MODEL HOME</p>	<p>ARCHITECT: MOUNTAIN HOMES, LLC</p>



GENERAL CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).

2. ALL DIMENSIONS ARE UNLESS OTHERWISE NOTED.

3. ALL MATERIALS SHALL BE AS SHOWN ON THE DRAWINGS.

4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).

5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).

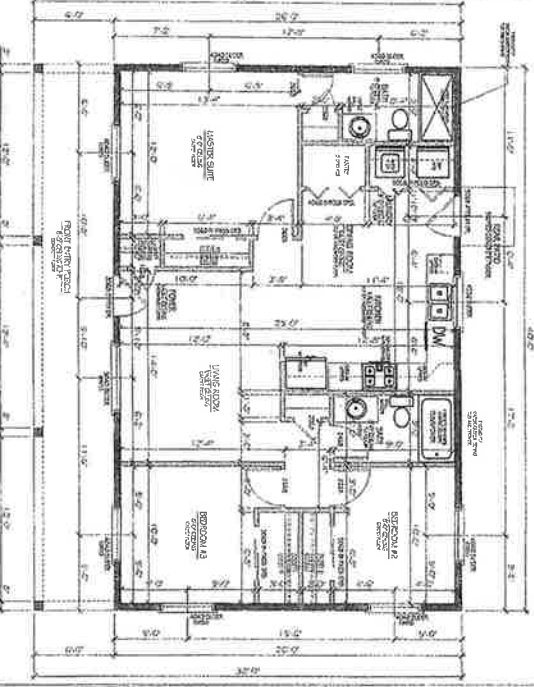
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).

7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).

8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).

9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).

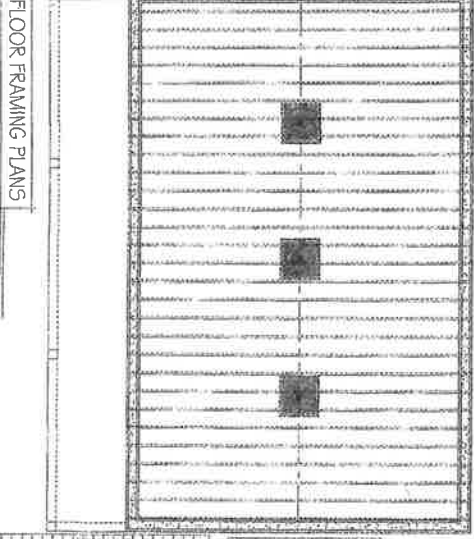
10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).



MAIN STORY FLOOR PLANS

SCALE: 1/8" = 1'-0"

DATE	10/15/2020
BY	ARCHITECT
CHECKED BY	ARCHITECT
PROJECT NO.	10000



FLOOR FRAMING PLANS

SCALE: 1/8" = 1'-0"

SECTION CUTS

1. SECTION CUT 1: 1/2" x 2" x 2" DIMENSIONAL

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	2x12 JOIST	10	LF	1.50	15.00
2	2x10 JOIST	10	LF	1.20	12.00
3	2x8 JOIST	10	LF	1.00	10.00
4	2x6 JOIST	10	LF	0.80	8.00
5	2x4 JOIST	10	LF	0.60	6.00
6	2x2 JOIST	10	LF	0.40	4.00
7	2x12 BEAM	1	LF	1.50	1.50
8	2x10 BEAM	1	LF	1.20	1.20
9	2x8 BEAM	1	LF	1.00	1.00
10	2x6 BEAM	1	LF	0.80	0.80
11	2x4 BEAM	1	LF	0.60	0.60
12	2x2 BEAM	1	LF	0.40	0.40
13	2x12 STUD	10	LF	1.50	15.00
14	2x10 STUD	10	LF	1.20	12.00
15	2x8 STUD	10	LF	1.00	10.00
16	2x6 STUD	10	LF	0.80	8.00
17	2x4 STUD	10	LF	0.60	6.00
18	2x2 STUD	10	LF	0.40	4.00
19	2x12 BRACKET	10	EA	0.50	5.00
20	2x10 BRACKET	10	EA	0.40	4.00
21	2x8 BRACKET	10	EA	0.30	3.00
22	2x6 BRACKET	10	EA	0.20	2.00
23	2x4 BRACKET	10	EA	0.15	1.50
24	2x2 BRACKET	10	EA	0.10	1.00
25	2x12 HANGING	10	EA	0.50	5.00
26	2x10 HANGING	10	EA	0.40	4.00
27	2x8 HANGING	10	EA	0.30	3.00
28	2x6 HANGING	10	EA	0.20	2.00
29	2x4 HANGING	10	EA	0.15	1.50
30	2x2 HANGING	10	EA	0.10	1.00



MAIN STORY ELECTRIC PLANS

30 of 100

MOUNTAIN HOMES, LLC
 ATT. BRANDON MCBEE
 718-222-0010 (LOCAL 711)

SCALE: 1/8" = 1'-0"

DATE: 10/15/2020

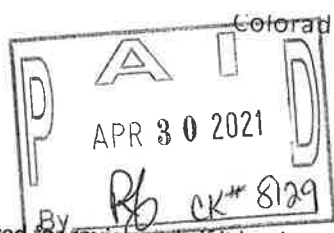
PROJECT: 10000

A SINGLE FAMILY RESIDENCE
 for
THE 1040 MODEL HOME
 4970 CHERRY CREEK STREET (COLORADO CITY) COLORADO

DATE: 10/15/2020

ADVANCED

ATT. DAVE HENRICH
 702 FOX STREET
 14580 LINDENWOOD BLVD
 FORT COLLINS CO, CO 80504
 970-226-8888



Colorado City Architectural Advisory Committee
 P.O. Box 20229
 Colorado City, Colorado 81019
 719 676-3396
 colocitymanager@ghvalley.net

RECEIVED

APR 30 2021

BY: RB P

Application will be considered for review only if it has been fully completed and received at the Colorado City Metropolitan District office or mailed to and received at the above address by 3p.m. on the Wednesday prior to the next regular meeting. All applications must be accompanied by a check or money order made out to "CCAAC" in the amount appropriate to the fee schedule featured on the back of this application.

Property Owner: BRIAN + Cindy CRAMER

Mailing Address: P.O. Box 20310

State: CO

ZIP: 81019

City: COLORADO CITY, CO

Telephone: 806-678-3793

CONTRACTOR

Contractor: _____

Mailing Address: _____

State: _____

ZIP: _____

City: _____

Telephone: _____

Requested approval for: Commercial building Home Shed Fence Other: _____

Lot: 769 Unit: 14

Legal address, (please verify with CC Metro District): 4731 E JEFFERSON BLVD

Type construction: CONVENTIONAL STYCK

Mobile homes: New Used - Year built: 2020

Floor area square footage: 1504

Square footage required by covenants: .26 ACRES

REQUIRED ITEMS for submittal of application:

- Legal description of property with legal address defined as street name & number
- Plot plans to scale (indicate scale)
- Property line staked out corners
- Foundation plan and Building staked out **before** Excavation
- One (1) copy of blue print and One (1) electronic copy sent to manager
- Location of improvements on property - NOTE: front of house **must** face legal address
- Exterior dimensions - both primary and secondary buildings
- Elevations - front, back, sides
- Accurate setbacks drawn to scale (include easements)
- Distances between buildings
- Location of improvements (porches, decks, garages, carports, driveways, accessory buildings, landscaping)
- Location of propane tank, where applicable
- Location of street light (where required by covenants)
- Fence - type of materials, height, and locations
- Landscaping diagram (if not included in original plans, must be submitted later)
- Exterior color scheme, type of siding and roofing materials must be indicated

have read and agree to abide by the unit's protective covenants for which this application is submitted:

Property owner's signature: [Signature]

Date: 4-5-2021

This application will not be accepted until you read and sign on reverse.

CONDITIONS APPLYING TO THIS APPLICATION

- It is clearly understood that the granting of architectural approval does not relieve the owner or building of compliance with Pueblo County Zoning Resolutions and/or Building Codes and Subdivision Regulations; It is also understood that the construction shall commence within 90 days of Colorado City Architectural Advisory Committee (CCAAC) approval. Actual construction period shall not exceed 180 days without committee approval. Failure to comply with these time limitations automatically terminates CCAAC approval. Any changes made to the submitted plans, either before or during construction, must be approved by CCAAC; or applying to the owner's unit. Copies of the covenants are available at the Colorado City Metropolitan District office or at www.colorado.gov/coloradocitymetro.
- Preliminary plans should be brought before CCAAC for approval. One (1) complete set of plans and specifications for construction, including all required items listed on the opposite side of this page, must be submitted for approval. Drawings must be professionally prepared and acceptable for the Pueblo Regional Planning Department.
- CCAAC meets the first and last Tuesdays of each month. After reviewing plans and specifications, CCAAC will approve the submitted plans by the next regular meeting (providing all requirements have been met). The Committee will retain one (1) set of approved plans. Incomplete applications will not be placed on a meeting agenda but will be returned to property owners for completion of missing information.
- Construction must not commence until you have received a Letter of Approval from CCAAC. As stated above, omissions of any information will delay the approval process. All construction must be confined to the lot listed on the reverse side of this document. Greenbelts and adjacent lots must not be used as access or storage during construction.
- CCAAC is not responsible for any monetary losses you incur; therefore, you are encouraged to obtain approval before proceeding with construction or purchases affected by this application.

CCAAC Fee Schedule

Please note that a check or money order for the appropriate amount must be included with your application

Commercial/Industrial	\$400.00
Multifamily Residential	\$300.00
New Single Family Residential	\$200.00
Sheds/Fences/Garages/Carports/Decks	\$ 40.00
Remodeling Residential	\$ 50.00
Re-Roofing	\$ 25.00

NOTE: A Late Fee amounting to double the original filing fee will be charged if filing application AFTER construction has begun. For instance, if filing after construction of a shed, that amount would be \$80 (\$40 application fee + \$40 late fee) and must accompany application.

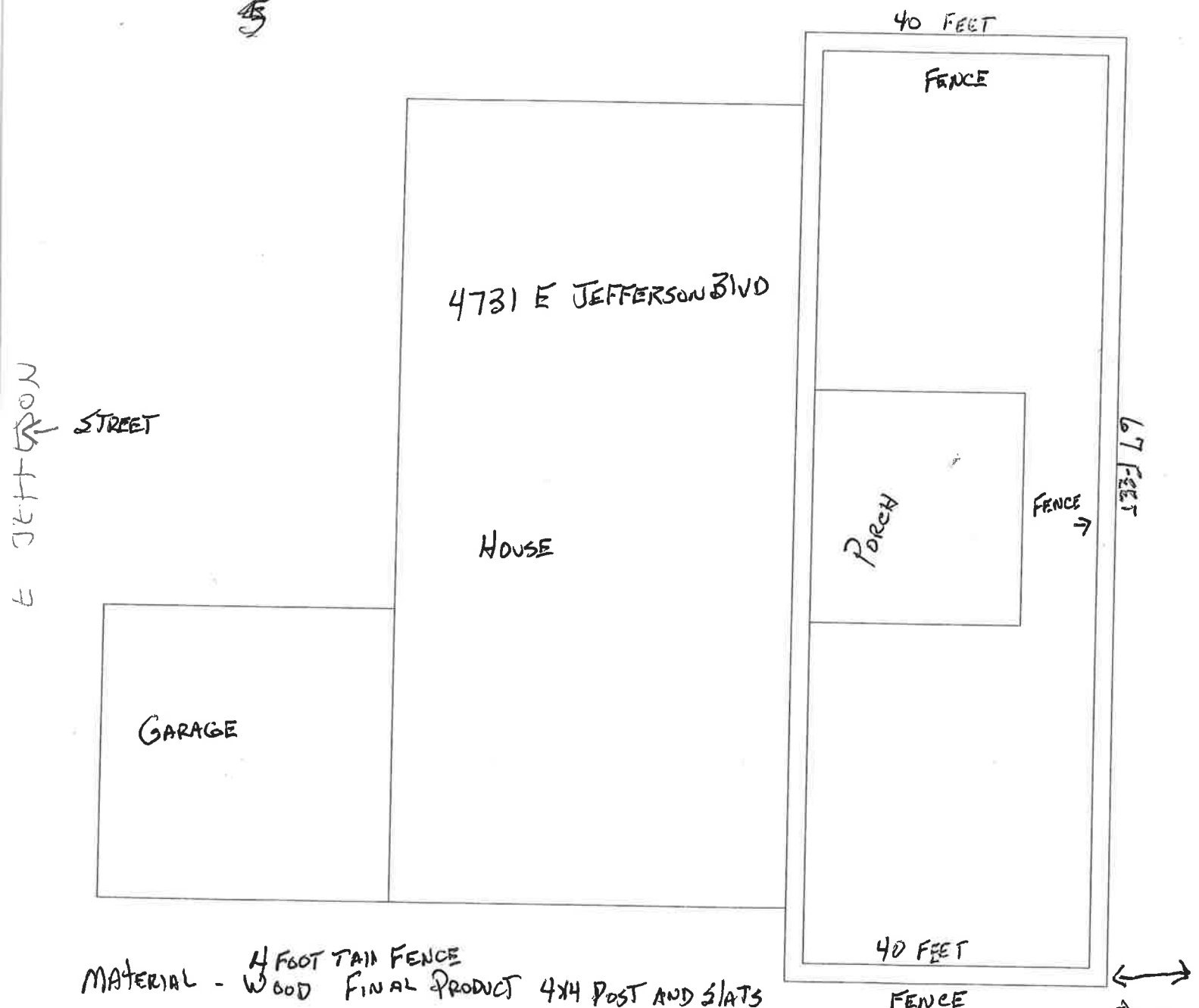
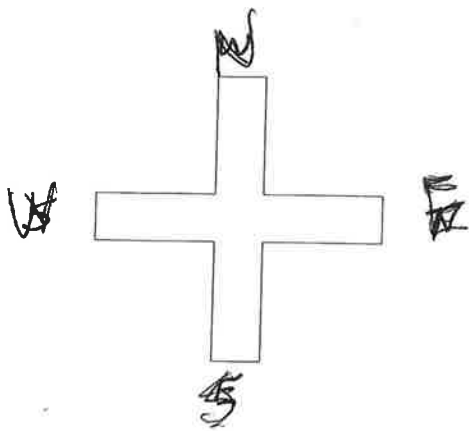
I have read and understand the provisions of this application and understand that incomplete applications will be returned to me for the required information before being considered by CCAAC.

Property Owner Signature:



Date:

4-30-2021



MATERIAL - 4 FOOT TAIN FENCE
 WOOD FINAL PRODUCT 4x4 POST AND SLATS

Will HAVE TO USE WIRE FENCING AFTER POST ARE PLANTED TILL FINISHED.

I HAVE TO HAVE A FENCE FOR DOGS. THEY ARE YORKIES AND I FEEL THEY NEED TO BE ABLE TO RUN AROUND AND USE BATH ROOM



Stamley - S. to Terhise

Colorado City Architectural Advisory Committee

P.O. Box 20229

Colorado City, Colorado 81019

719 676-3396

colocitymanager@ghvalley.net



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Property Owner: Christopher + Kathryn Lesser

Mailing Address: Po Box 874 City: Rye

State: CO ZIP: 81069 Telephone: 719-250-1515
(Chris)

CONTRACTOR

Contractor: Owner

Mailing Address: _____ City: _____

State: _____ ZIP: _____ Telephone: _____

CCR-1/2 PAB-R-1

Requested approval for: Commercial building Home Shed Fence Other: _____

Lot: 385⁺ 386 Unit: 29 Parcel A, LHV # 2021-002
Legal address, (please verify with CC Metro District): 2628 Julianna Rd

Construction: ICF Mobile homes: New Used - Year built: _____

Floor area square footage: 2043 Square footage required by covenants: 750

REQUIRED ITEMS for submittal of application:

- Legal description of property with legal address defined as street name & number
- Plot plans to scale (indicate scale)
- Property line staked out corners
- Foundation plan and Building staked out before Excavation
- One (1) copy of blue print and One (1) electronic copy sent to manager
- Location of improvements on property - NOTE: front of house must face legal address
- Exterior dimensions - both primary and secondary buildings
- Elevations - front, back, sides
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- Location of propane tank, where applicable
- Location of street light (where required by covenants)
- Fence - type of materials, height, and locations
- Landscaping diagram (if not included in original plans, must be submitted later)
- Exterior color scheme, type of siding and roofing materials must be indicated

I have read and agree to abide by the unit's protective covenants for which this application is submitted:

Property owner's signature: [Signatures] Date: 4/14/21

This application will not be accepted until you read and sign on reverse.

CONDITIONS APPLYING TO THIS APPLICATION

- It is clearly understood that the granting of architectural approval does not relieve the owner or building of compliance with Pueblo County Zoning Resolutions and/or Building Codes and Subdivision Regulations; It is also understood that the construction shall commence within 90 days of Colorado City Architectural Advisory Committee (CCAAC) approval. Actual construction period shall not exceed 180 days without committee approval. Failure to comply with these time limitations automatically terminates CCAAC approval. Any changes made to the submitted plans, either before or during construction, must be approved by CCAAC; or applying to the owner's unit. Copies of the covenants are available at the Colorado City Metropolitan District office or at www.colorado.gov/coloradocitymetro.
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Please note that a check or money order for the appropriate amount must be included with your application

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Multifamily Residential	\$300.00
New Single Family Residential	\$200.00
Sheds/Fences/Garages/Carports/Decks	\$ 40.00
Remodeling Residential	\$ 50.00
Re-Roofing	\$ 25.00

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I have read and understand the provisions of this application and understand that incomplete applications will be returned to me for the required information before being considered by CCAAC.

Property Owner Signature:



Date:





CML Limited
 P.O. Box 874
 Rye, CO 81069
 (719) 250-1515

2626 Julianna Road
 Colorado City, CO

Christopher and Kathryn Lesser

Lesser Residence

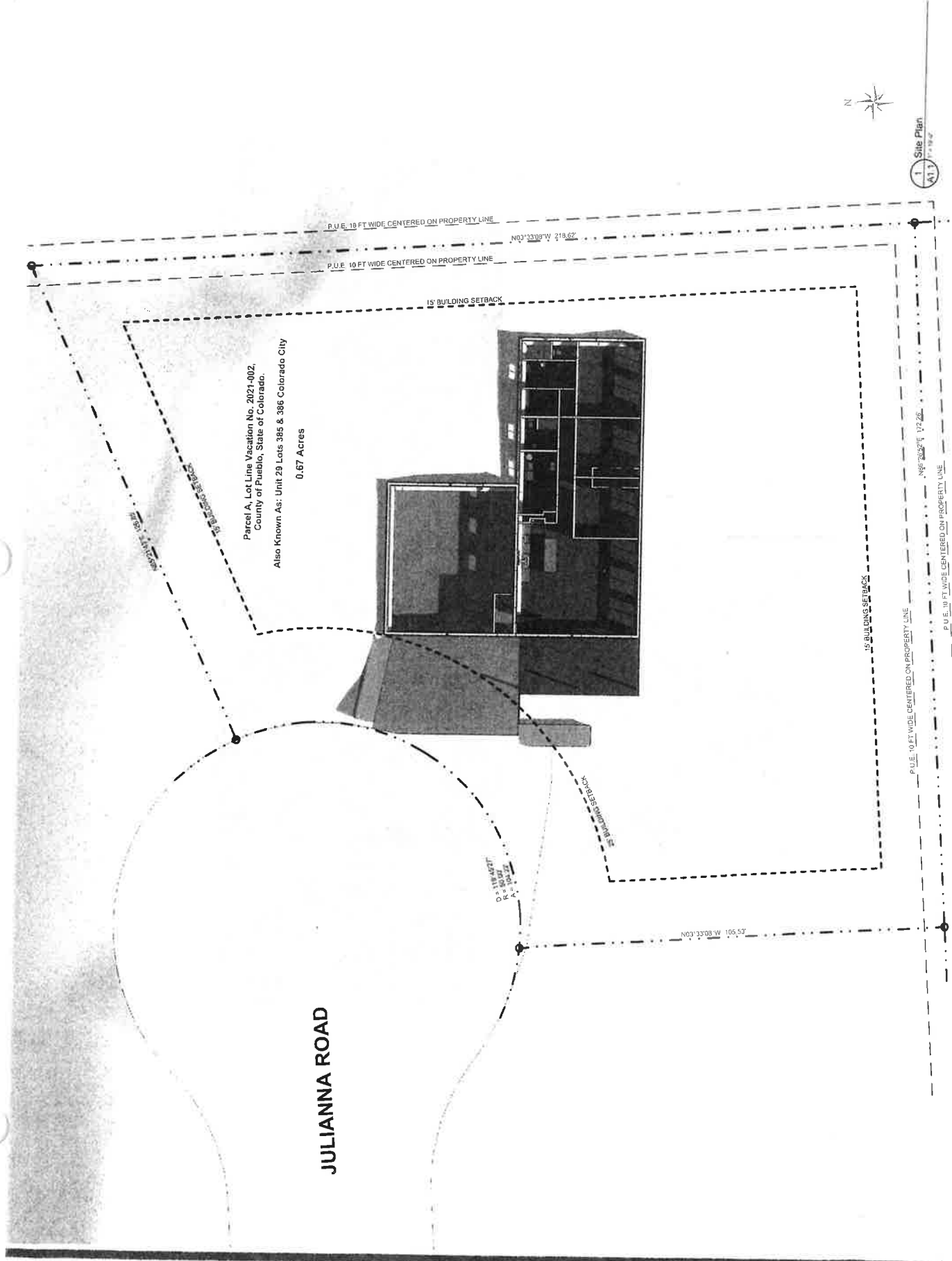
Document Date:
 April 6, 2021
 Document Phase:
 Consultation Documents
 rev. date remark

Site Plan

A1.1



1 Site Plan
 A1.1 11/18/21



JULIANNA ROAD



CWL Limited
 P.O. Box 1874
 Rye, CO 81069
 (719) 250-1515

2628 Juliana Road
 Colorado City, CO

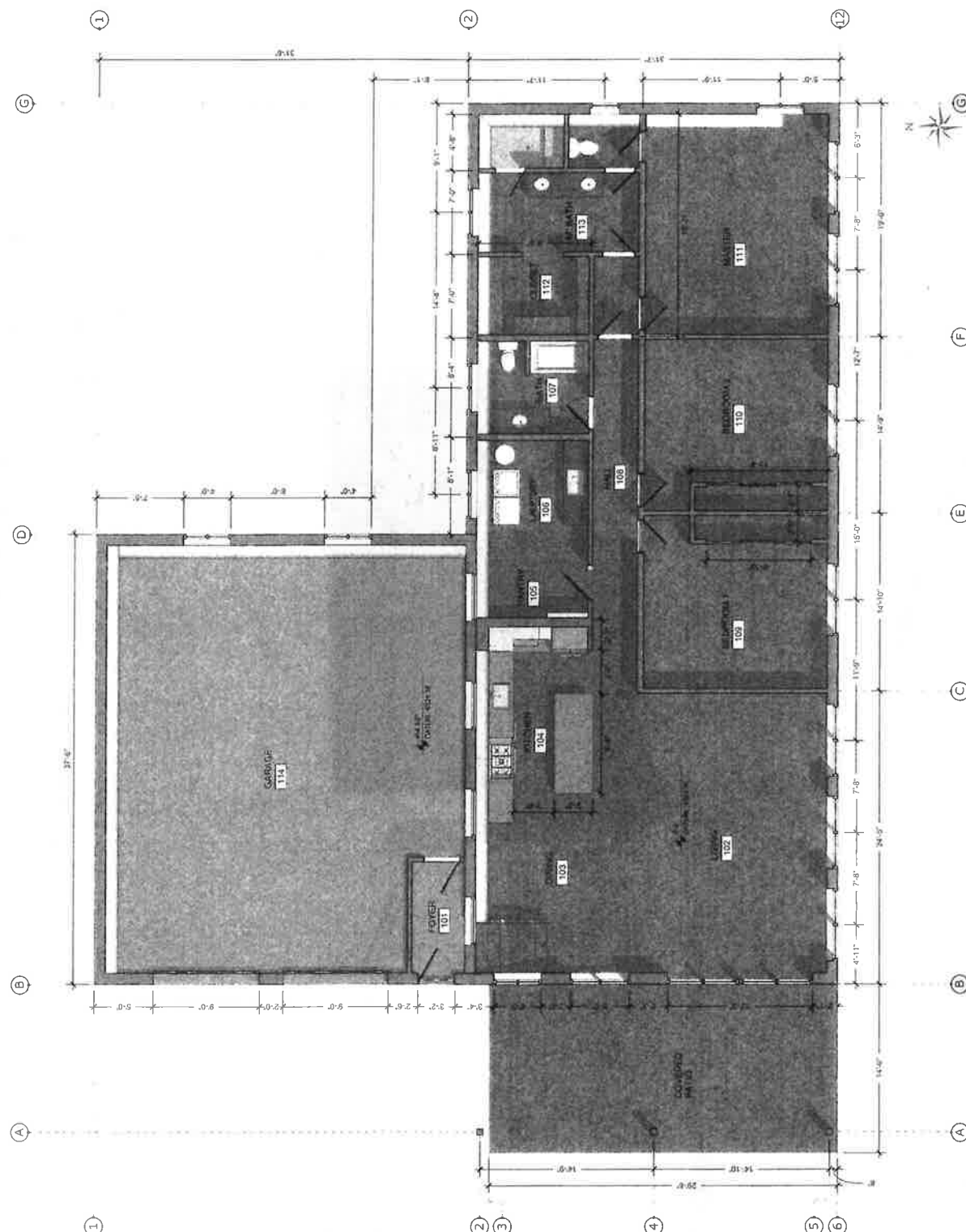
Christopher and Kathryn Lesser

Lesser Residence

Document Date:
 April 6, 2021
 Document Phase:
 Construction Documents
 rev. date remark

Floor Plan
A2.1

- FLOOR PLAN GENERAL NOTES:**
- ALL DIMENSIONS OF DOOR AND WINDOW OPENINGS AND DIMENSIONS ARE TO THE FACE SURFACE AND DO NOT INCLUDE THE SILL OR FINISH.
 - ALL DOOR AND WINDOW OPENINGS SHALL BE 31" OR MORE THAN 31" ABOVE LANDINGS AND THE CONTIGUOUS FLOOR OR CEILING FINISHES. ALL DOORS SHALL BE RETURNED TO ORIGINAL FINISHES.
 - ALL DOOR AND WINDOW OPENINGS SHALL BE RETURNED TO ORIGINAL FINISHES AND SHALL HAVE A MINIMUM CLEARANCE OF 4" ABOVE THE FINISH FLOOR AND A MINIMUM CLEARANCE OF 20" ABOVE THE FINISH CEILING. ALL DOORS SHALL BE RETURNED TO ORIGINAL FINISHES.
 - EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR DOOR APPROVED FOR EGRESS. THE WINDOW OR DOOR SHALL BE NOT MORE THAN AN ABOVE FINISH FLOOR FINISH AND SHALL HAVE A MINIMUM CLEARANCE OF 4" ABOVE THE FINISH FLOOR AND A MINIMUM CLEARANCE OF 20" ABOVE THE FINISH CEILING.
 - MINIMUM EGRESS PROTECTION FOR DOOR BETWEEN GARAGE AND ADJACENT AREAS SHALL BE PROVIDED AS A SELF-CLOSING, TIGHT-FITTING, 1-1/2" THICK, 1-3/4" HIGH, 1-3/4" WIDE, SELF-CLOSING TIGHT-FITTING DOOR HAVING A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES.
 - MINIMUM OCCUPANCY SEPARATION BETWEEN GARAGE AND ADJACENT AREAS SHALL BE PROVIDED AS A SELF-CLOSING, TIGHT-FITTING, 1-1/2" THICK, 1-3/4" HIGH, 1-3/4" WIDE, SELF-CLOSING TIGHT-FITTING DOOR HAVING A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES.
 - THE WALLS AND SOFFITS OF THE ENCLOSED, USABLE GARAGE SHALL BE PROTECTED AGAINST THE SPILLAGE OF OIL AND FLUIDS BY THE INSTALLATION OF AN APPROVED OIL PAN OR DRAINAGE SYSTEM. THE SEPARATION IS TO BE INSTALLED ON THE GARAGE SIDE. WHERE THE SEPARATION IS TO BE INSTALLED ON THE ADJACENT SIDE, THE SEPARATION SHALL BE PROTECTED BY A MINIMUM 1/2" THICK, 1-3/4" HIGH, 1-3/4" WIDE, SELF-CLOSING TIGHT-FITTING DOOR HAVING A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES.
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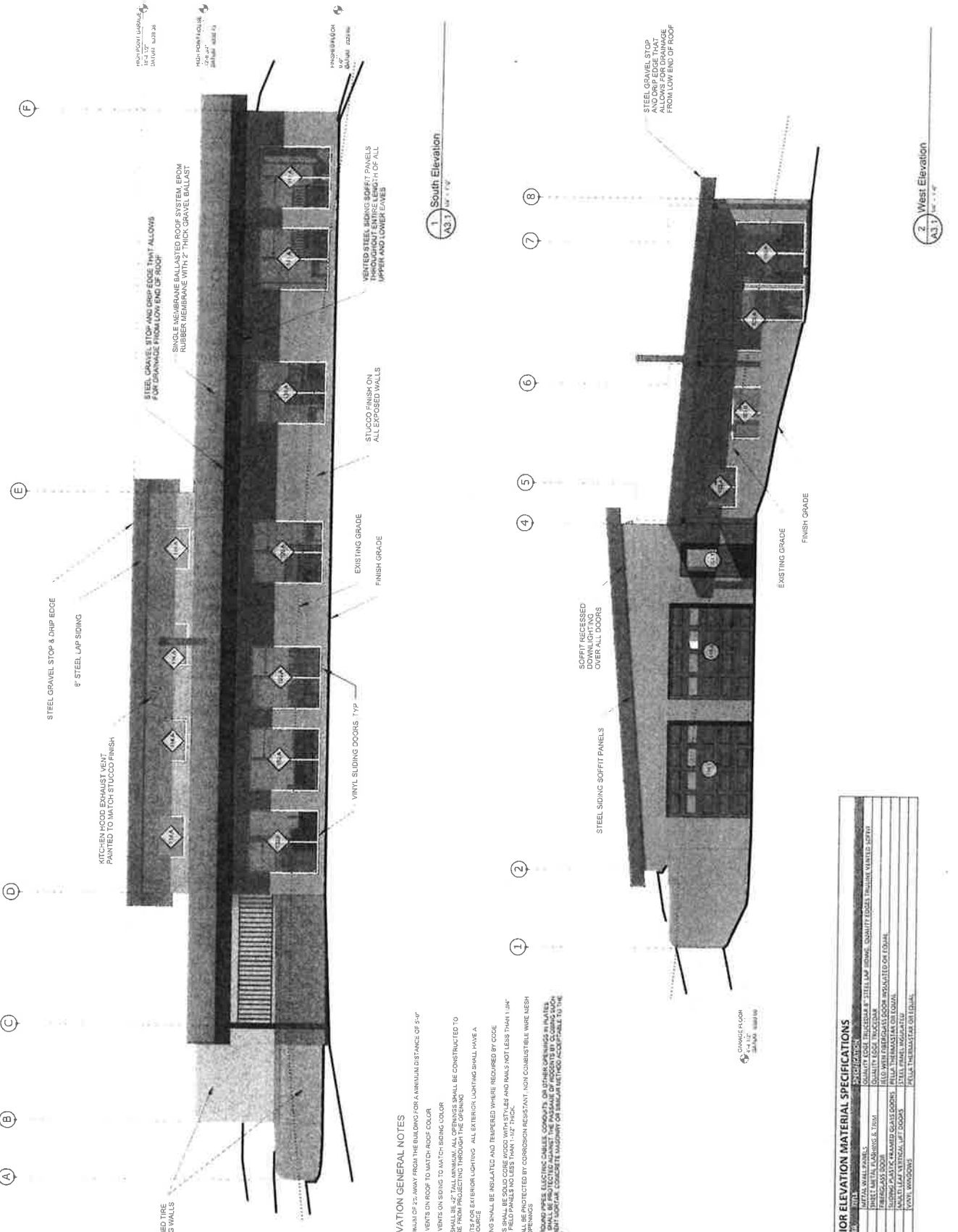
1 Floor Plan
 A2.1 1/4" = 1'-0"

Lesser Residence

Document Date:
April 6, 2021
Document Phase:
Construction Documents
REV: date remark

South & West Elevations

A3.1



A B C D E F
1 2 3 4 5 6 7 8

STEEL GRAVEL STOP & CHIP EDGE
STEEL LAP SIDING
KITCHEN HOOD EXHAUST VENT PAINTED TO MATCH STUCCO FINISH
STUCCO FINISHED TIRE BALE RETAINING WALLS
VINYL SLIDING DOORS TYP
EXISTING GRADE FINISH GRADE
STUCCO FINISH ON ALLEPOSED WALLS
VENTED STEEL SIDING SOFFIT PANELS TO THE LENGTH OF ALL UPPER AND LOWER EAVES
STEEL GRAVEL STOP AND CHIP EDGE THAT ALLOWS SINGLE MEMBRANE BALLASTED ROOF SYSTEM FROM RUBBER MEMBRANE WITH 2" THICK GRAVEL BALLAST
HIGH POINT LUMBER 1/2" DIA. 10' ON 12'
HIGH POINT LUMBER 1/2" DIA. 10' ON 12'
HIGH POINT LUMBER 1/2" DIA. 10' ON 12'
HIGH POINT LUMBER 1/2" DIA. 10' ON 12'
STEEL GRAVEL STOP & CHIP EDGE THAT ALLOWS SINGLE MEMBRANE BALLASTED ROOF SYSTEM FROM RUBBER MEMBRANE WITH 2" THICK GRAVEL BALLAST
STEEL GRAVEL STOP & CHIP EDGE THAT ALLOWS SINGLE MEMBRANE BALLASTED ROOF SYSTEM FROM RUBBER MEMBRANE WITH 2" THICK GRAVEL BALLAST
STEEL GRAVEL STOP & CHIP EDGE THAT ALLOWS SINGLE MEMBRANE BALLASTED ROOF SYSTEM FROM RUBBER MEMBRANE WITH 2" THICK GRAVEL BALLAST

1 South Elevation
2 West Elevation

STEEL SIDING SOFFIT PANELS
SOFFIT RECESSED DOWNLIGHTING OVER ALL DOORS
EXISTING GRADE
FINISH GRADE

EXTERIOR ELEVATION GENERAL NOTES

- SLOPE GRADE A MINIMUM OF 1/4" AWAY FROM THE BUILDING FOR A MINIMUM DISTANCE OF 6'-0"
- PAINT ALL EXPOSED VENTS ON ROOF TO MATCH ROOF COLOR
- PAINT ALL EXPOSED VENTS ON SIDING TO MATCH SIDING COLOR
- ALL CEILING RAILINGS SHALL BE 42" TALL MINIMUM. ALL OPENINGS SHALL BE CONSTRUCTED TO PREVENT A 4" SPHERE FROM PROJECTING THROUGH THE OPENING
- COVER TO OPE BREASTS FOR EXTERIOR LIGHTING. ALL EXTERIOR LIGHTING SHALL HAVE A GROUNDING RING
- ALL EXTERIOR GLAZING SHALL BE INSULATED AND TREATED WHERE REQUIRED BY CODE
- ALL CEILING PANELS SHALL BE 4" THICK AND RAFTS NOT LESS THAN 1.5M" THICK AND INTERIOR PANELS NOT LESS THAN 1.5" STUCKE AND RAFTS NOT LESS THAN 1.5M" THICK AND INTERIOR PANELS NOT LESS THAN 1.5"
- ALL WALL VENTS SHALL BE PROTECTED BY CORROSION RESISTANT NOT CORROSIBLE WIRE MESH WITH 1/8" MAXIMUM OPENINGS
- MINIMUM SPACES AROUND PIPES, ELECTRIC CHUTE, CONDUITS, OR OTHER OPENINGS IN PLATES SHALL BE MAINTAINED THROUGHOUT THE ENTIRE PROJECT. ALL OPENINGS IN CEILING SHALL BE PROTECTED BY CORROSION RESISTANT NOT CORROSIBLE WIRE MESH WITH 1/8" MAXIMUM OPENINGS

EXTERIOR ELEVATION MATERIAL SPECIFICATIONS

QUANTITY	UNIT	DESCRIPTION	NOTATION
007.42.1	100 LBS	STUCCO	
007.42.2	100 LBS	STUCCO FINISH	
007.42.3	100 LBS	STUCCO FINISH (MIXED)	
007.42.4	100 LBS	STUCCO FINISH (MIXED)	
007.42.5	100 LBS	STUCCO FINISH (MIXED)	
007.42.6	100 LBS	STUCCO FINISH (MIXED)	
007.42.7	100 LBS	STUCCO FINISH (MIXED)	
007.42.8	100 LBS	STUCCO FINISH (MIXED)	
007.42.9	100 LBS	STUCCO FINISH (MIXED)	
007.42.10	100 LBS	STUCCO FINISH (MIXED)	
007.42.11	100 LBS	STUCCO FINISH (MIXED)	



CML Limited
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 Rye, CO 81069
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Christopher and Kathryn Lesser
 2626 Williams Road
 Colorado City, CO

Lesser Residence

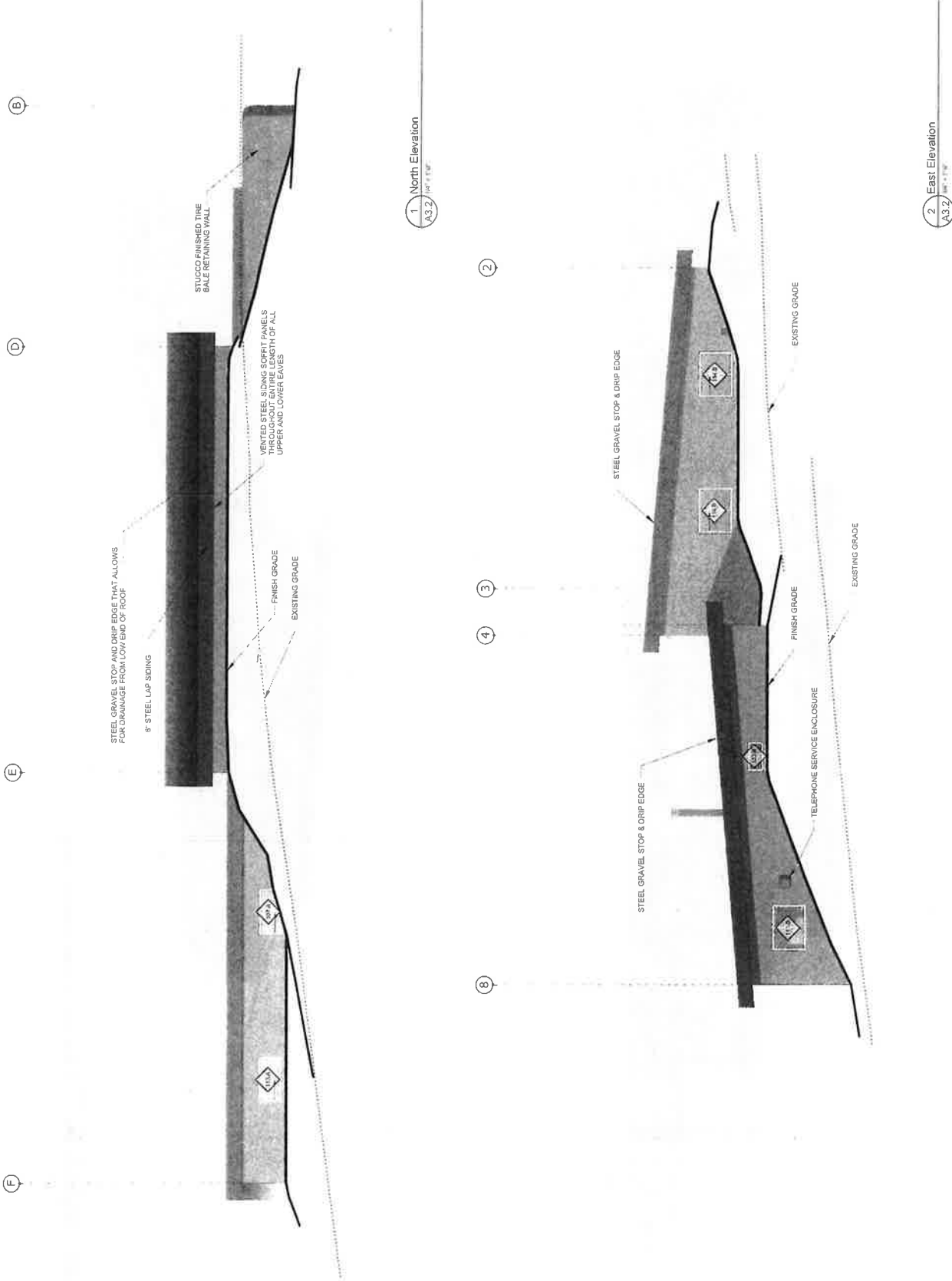
Document Date:
 April 6, 2021

Document Phase:
 Construction Documents

rev. date remark

North & East Elevations

A3.2



Document Date: April 6, 2021
 Document Phase: Construction Documents
 rev. date remark

North & East Elevations

A3.2



CML Limited
 P.O. Box 874
 Ave, CO 81089
 (719) 250-1515

2626 Juliana Road
 Colorado City, CO

Christopher and Kaitlyn Lesser

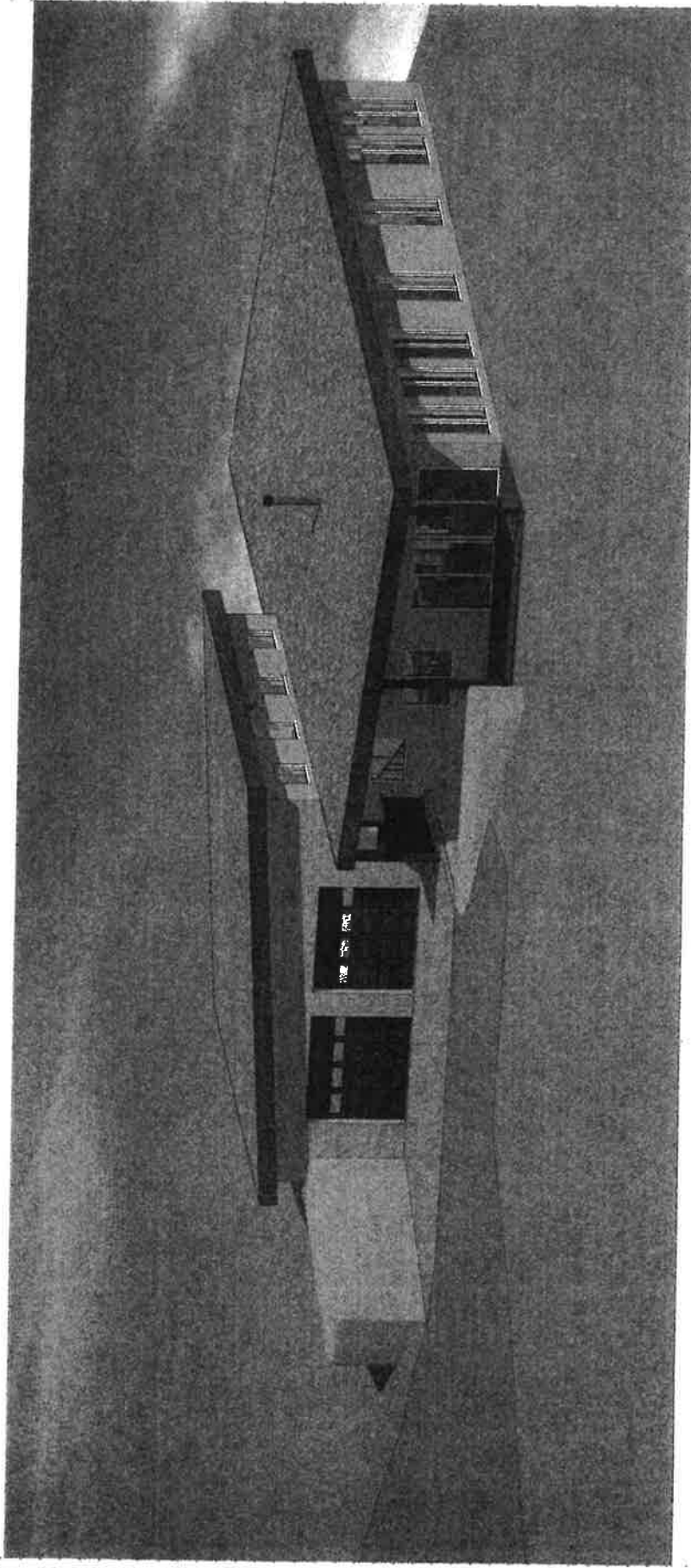
Document Date:
 April 8, 2021

Document Phase:
 Construction Documents
 rev. date remark

Lesser Residence

SW
 Perspective
 Elevation

A3.3



1 SW Perspective
 A3.3.rvt



Colorado City Architectural Advisory Committee
 P.O. Box 20229
 Colorado City, Colorado 81019
 719 676-3396
 colocitymanager@ghvalley.net

Revised 4/30/21
B+R ok

Application will be considered for review only if it has been fully completed and received at the Colorado City Metropolitan District office or mailed to and received at the above address by 3p.m. on the Wednesday prior to the next regular meeting. All applications must be accompanied by a check or money order made out to "CCAAC" in the amount appropriate to the fee schedule featured on the back of this application.

Property Owner: MARTIN E SUSAN SENSER
 Mailing Address: 680 DAPHNE STREET City: BROOMFIELD
 State: CO ZIP: 80020 Telephone: 720-480-2382

CONTRACTOR

Contractor: ANTON AND ASSOCIATES
 Mailing Address: PO BOX 2423 City: PUEBLO
 State: CO ZIP: 81004 Telephone: 719 251 1186

Requested approval for: Commercial building Home Shed Fence Other: _____

Lot: 106/67 Unit: 8 PAR # 4722108060
 Legal address, (please verify with CC Metro District): PAR A LOT LINE VACATION No 2012-006
5300 Black Kettle
FORMERLY # 47-221-08-49 + 055

Type construction: STICK BUILD FRAME Mobile homes: New Used - Year built: _____

Floor area square footage: 1884 Square footage required by covenants: _____

REQUIRED ITEMS for submittal of application:

- Legal description of property with legal address defined as street name & number
- Plot plans to scale (indicate scale)
- Property line staked out corners
- Foundation plan and Building staked out **before** Excavation
- One (1) copy of blue print and One (1) electronic copy sent to manager
- Location of improvements on property - NOTE: front of house **must** face legal address
- Exterior dimensions - both primary and secondary buildings
- Elevations - front, back, sides
- Accurate setbacks drawn to scale (include easements)
- Distances between buildings
- Location of improvements (porches, decks, garages, carports, driveways, accessory buildings, landscaping)
- Location of propane tank, where applicable
- Location of street light (where required by covenants)
- Fence - type of materials, height, and locations
- Landscaping diagram (if not included in original plans, must be submitted later)
- Exterior color scheme, type of siding and roofing materials must be indicated

I have read and agree to abide by the unit's protective covenants for which this application is submitted:

Property owner's signature: *Rand Dwyer* Date: 4-27-2021
 This application will not be accepted until you read and sign on reverse.

CONDITIONS APPLYING TO THIS APPLICATION

- It is clearly understood that the granting of architectural approval does not relieve the owner or building of compliance with Pueblo County Zoning Resolutions and/or Building Codes and Subdivision Regulations; It is also understood that the construction shall commence within 90 days of Colorado City Architectural Advisory Committee (CCAAC) approval. Actual construction period shall not exceed 180 days without committee approval. Failure to comply with these time limitations automatically terminates CCAAC approval. Any changes made to the submitted plans, either before or during construction, must be approved by CCAAC; or applying to the owner's unit. Copies of the covenants are available at the Colorado City Metropolitan District office or at www.colorado.gov/coloradocitymetro.
- Preliminary plans should be brought before CCAAC for approval. One (1) complete set of plans and specifications for construction, including all required items listed on the opposite side of this page, must be submitted for approval. Drawings must be professionally prepared and acceptable for the Pueblo Regional Planning Department.
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- **CCAAC is not responsible for any monetary losses you incur; therefore, you are encouraged to obtain approval before proceeding with construction or purchases affected by this application.**

CCAAC Fee Schedule

Please note that a check or money order for the appropriate amount must be included with your application

Commercial/Industrial	\$400.00
Multifamily Residential	\$300.00
New Single Family Residential	\$200.00
Sheds/Fences/Garages/Carports/Decks	\$ 40.00
Remodeling Residential	\$ 50.00
Re-Roofing	\$ 25.00

NOTE: A Late Fee amounting to double the original filing fee will be charged if filing application AFTER construction has begun. For instance, if filing after construction of a shed, that amount would be \$80 (\$40 application fee + \$40 late fee) and must accompany application.

I have read and understand the provisions of this application and understand that incomplete applications will be returned to me for the required information before being considered by CCAAC.

Property Owner Signature: _____

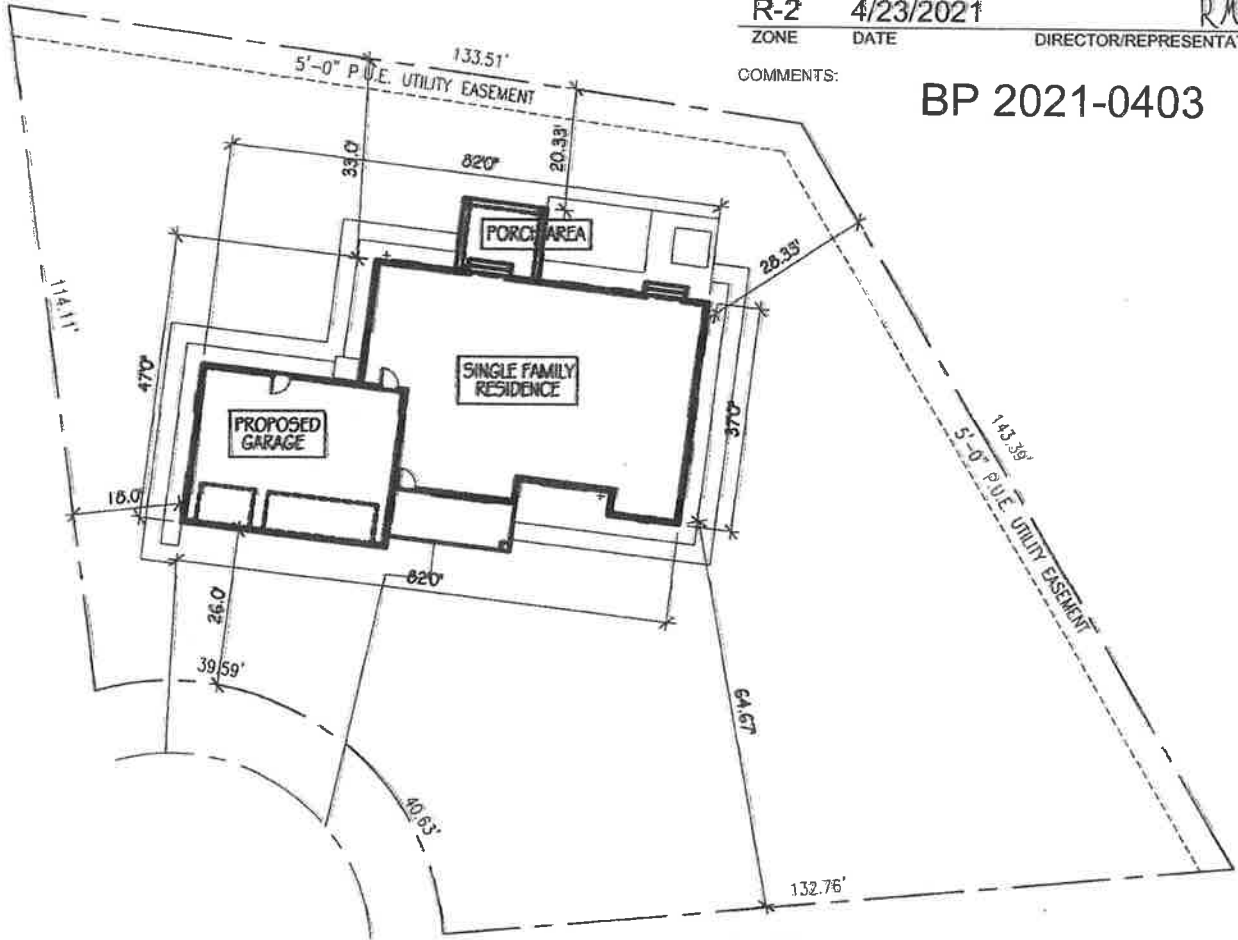
Date: _____

R-2 4/23/2021
 ZONE DATE

RMG
 DIRECTOR/REPRESENTATIVE

COMMENTS:

BP 2021-0403



5300 BLACK KETTLE (COLORADO CITY) COLORADO

PUEBLO COUNTY DEPARTMENT OF PLANNING
 AND ZONING CHECKLIST

INCLUDED	o ASSESSOR'S PARCEL NUMBER	PARCEL SCHEDULE # TBD
INCLUDED	o SQUARE FOOTAGE OF PROPOSED STRUCTURE	MINI TEXOR DWING 12884.0 TOTAL UNDER ROOF- 4992.0
N/A	o SQUARE FOOTAGE OF EXISTING STRUCTURE	N/A
INCLUDED	o STRUCTURE HEIGHT	21'-4" CITY FINISHED GRADE
N/A	o LOCATION & SIZE OF EXISTING FENCES, WALLS	N/A
INCLUDED	o DIMENSIONS OF THE PARCEL	SEE PLOT
INCLUDED	o EASEMENTS/BUILDING SETBACK LINES	SEE PLOT
INCLUDED	o LEGAL DESCRIPTION	PARCEL A OF LOT LINE VACATION NO 2012-006(COLORADO CITY)
INCLUDED	o ADDRESS OF PROPERTY	5300 BLACK KETTLE (COLORADO CITY) COLORADO
N/A	o STREET NAME AND ADJACENT STREET	N/A
INCLUDED	o NORTH ARROW	SEE PLOT
INCLUDED	o ALL LOCATIONS & DISTANCES TO PROP. STRUCTURES	SEE PLOT
N/A	o LOCATION & DISTANCES TO EXISTING STRUCTURES IF APPL.	N/A



PLOT PLAN

SCALE: 1" = 30'-0"

BUILDER/OWNER:

A SINGLE FAMILY RESIDENCE
 THE SENSER RESIDENCE

DATE:

4-2021

ADDRESS:

5300 BLACK KETTLE (COLORADO CITY) COLORADO

LEGAL DESCRIPTION:

PARCEL A OF LOT LINE VACATION NO 2012-006(COLORADO CITY)

ATT. DAVE WEHRICH
 702 POLK STREET
 PUEBLO, COLORADO 81004

(719) 299-4784 fax
 (719) 240-9468 cell
 (719) 744-0544 office

EMAIL-dave@advanceddb.com
 EMAIL-david.wehrich@yahoo.com



ZONING SIGN-OFF FOR BUILDING PERMIT

To Be Completed By Applicant

Date: 04/13/21
 Owner: Susan and Martin Senser
 Contractor/Applicant: Antrim and Associates
 Address of Premises: 5300 Black Kettle PL, Col City, CO 81019
 Legal Description of Property: Part A Lot Line VAC No 2012-008 Formerly #47-221-05-040(59)
 Assessor's Parcel Number: 4722108060
 Zone District: R2 Other Prior Zoning Actions: LLV 2012-006
 Describe Existing Structures on Property: None
 Describe other Land-Uses on the Property: None

NOTATION: Only one (1) Single Family Residence is allowed on a parcel or lot.

Proposed Use for This Property

Specify The Proposed Use: Residence

WILL DETACHED GARAGE/SHOP/BARN HAVE A BATHROOM: YES NO
 If YES, there will be no living quarters/residence in the structure.

BASEMENT: YES NO FINISHED UNFINISHED

USE(S)

CRAWL SPACE: YES NO
 USE(S)

ALL REQUIREMENTS OR STANDARDS REFER TO THE "PUEBLO COUNTY CODE".

SECTION 17.04.030 - VIOLATIONS AND PENALTIES

(A) APPLICATION It shall be unlawful to erect, construct, reconstruct, alter, maintain, or use any building or structure or to use any land in violation of the provisions of these regulations or any amendment thereof. Any person, firm, or corporation, either as owner, lessee, occupant, or otherwise, who violates any of the provisions of these regulations or any amendment thereof shall be guilty of a misdemeanor.

(B) PENALTIES. The violation of any provision of these Zoning Regulations shall be punishable as provided by law. Each day or portion thereof, any violation of any provision of these regulations shall continue shall constitute a separate offense.

Standards For This Zone District

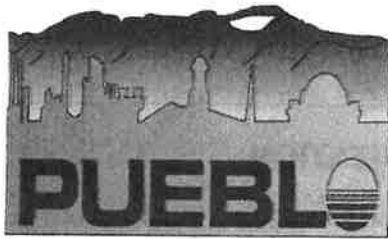
SINGLE-FAMILY RESIDENTIAL (R-2) ZONE DISTRICT

Code Requirement or Standard	Actual
Lot Area: <small>min. 5,800 square feet</small>	<u>.47 acre</u>
Lot Dimensions: <small>min. 60' x 90'</small>	<u>80.22' x 114.11'</u>
Lot Coverage: <small>max. 60%</small>	<u>15.2%</u>
Floor Area Ratio: <small>no requirement</small>	<u>1884 / 890 = 3108</u>
Building Height: <small>max. 30'</small>	<u>21' 4"</u>
Front Yard Setback: <small>min. 20' (except as provided in Chapter 17.120)</small>	<u>26'</u>
Side Yard Setback: <small>principal min. 15' w/min. 5' on one side, acc. min. 5' (except as provided in Section 17.120.020 C)</small>	<u>18 / 28.33'</u>
Rear Yard Setback: <small>principal min. 15', acc. bldg min. 5' (except as provided in Section 17.120.020 C)</small>	<u>20.35'</u>
Setbacks Between Buildings: <small>min. 6' (except as provided in Section 17.120.020 B)</small>	<u>none</u>
Parking Spaces: <small>see Chapter 17.112</small>	<u>3 Concrete</u>
Loading Space: <small>no requirement</small>	<u>none</u>
Fences, Walls, Hedges: <small>see Section 17.120.160</small>	<u>none</u>
Signs: <small>see Chapter 17.116</small>	<u>none</u>

APPLICANT SIGNATURE [Signature]
 I attest that the information I have provided is true and correct to the best of my knowledge.

To Be Completed By Staff

Floodplain Location: YES NO
 Has the property been researched for compliance with subdivision Regulations: yes
 R: 1920263 9/27/2012 FEMA Panel No.: 1130D
 Reviewed By: RAG Date: 4/23/2021
 Comments: LLV 2012-006
BP 2021-0403



Regional Building Department
830 N Main St Suite 100
Pueblo CO 81003
719-543-0002 Fax 719-543-0062
www.prbd.com

Routing #: 21-01148

2021-04-12

Required Agency Approvals - Project Routing

Owner: ARIEL HOMES OF COLORADO Contractor:
Job Address: 5300 BLACK KETTLE PL Project: 101 New
Colorado City CO 81019 Residence
Parcel: 4722108060
Legal: PAR A LOT LINE VACATION NO 2012-006 FORMERLY Notes: NEW SFR
#47-221-08-49 + 055

it is the responsibility of the applicant for this permit to secure the required approvals from the indicated agencies. This must be accomplished prior to the issuance of any permits. This property must not be used or occupied prior to obtaining a final inspection.
Please Note: This routing sheet was issued online. If, upon review by the department, we find any discrepancy regarding the details of the scope of the work being done, this form may become void.

For Permit

Agencies	Approved By
County Planning - Approved County Roads and Bridges - Approved San Isabel - Pending <i>ON-LINE APPROVED</i> Colorado City Metro - Pending	County Planning - Rachel Gaffney - 04/23/2021 County Roads and Bridges - Ivan Jelcic - 04/19/2021
Comments:	
County Planning Rachel Gaffney 04/23/2021 - County Roads and Bridges Ivan Jelcic 04/19/2021 - Out of Pueblo County Jurisdiction Contact Colorado City CC Reso 06 2004 San Isabel Candace Alfonso 04/12/2021 - Need to set up service contact SIEA	

WARNING

PLOT PLANS FOR ZONING AUTHORIZATION

The location information you provide on your plot plan must be accurate. You must be certain of your property boundaries. Locate all of your property corner pins in determining your property lines. If you are unable to locate your property pins to accurately establish your property lines, we strongly encourage you retain the services of a professional land surveyor registered in the State of Colorado.

DO NOT USE THE EDGE OF THE ROADWAY TO ESTABLISH YOUR PROPERTY LINES. The public right-of-way is generally much wider than the roadway itself and the roadway may not be centered in the middle of the right-of-way.

DO NOT RELY ON EXISTING FENCE LINE TO ESTABLISH YOUR PROPERTY LINES. Although fence lines may reflect lines of historic occupation, they do not necessarily reflect lines of ownership.

Failure to properly establish the exact location of your property lines may result in the improper location of structures on your property and therefore violate the required setback standards of your zone district. The Pueblo County Zoning Board of Appeals may deny zoning setback variances in those cases where proper diligence was not followed to accurately establish property lines or property boundaries.

I hereby attest I have read and understand the above statements.

x Randy Deryn
(Signature of Applicant)

DATE: 4-13-21

NOTE TO HOMEOWNERS AND RESIDENTIAL BUILDERS

As of January 1, 2006, Pueblo County has adopted outdoor lighting regulations as part of the Pueblo County Code, Title 17, Land Use, Chapter 17.120, Supplementary Regulations, Section 17.120.180, Outdoor Lighting. These Outdoor Lighting Regulations apply to:

All new outdoor Industrial and Commercial Use Lighting;

All externally illuminated signs;

Residential outdoor lighting of one hundred-fifty (150) watts or more for each light fixture, and/or fluorescent lights of twenty (20) watts or more per fixture.

*** All residential lighting installed with lamps that exceed 150 watts for each light fixture, and/or fluorescent lights of twenty watts or more per fixture shall be shielded (full cutoff) in conformance with the Pueblo County Code, Title 17, Land Use, Chapter 17.120, Supplementary Regulations, Section 17.120.180, Outdoor Lighting.

The installation of outdoor lights which do not comply with the standards set fourth in the Pueblo County Code, Title 17, Land Use, Chapter 17.120, Supplementary Regulations, Section 17.120.180, Outdoor Lighting will be considered a zoning violation, and may result in legal action being instituted against the property owner by Pueblo County. Under Colorado law if the Court determines that you have violated the Pueblo County Code it must impose a fine of at least \$250.00 and has discretion to impose a greater fine not to exceed \$500.00

I have read and understand the requirements for residential outdoor lighting and the possible penalties for improper installation.

x Randy Deryn
(Signature of Applicant)

DATE: 4-13-21



Colorado City Architectural Advisory Committee
 P.O. Box 20229
 Colorado City, Colorado 81019
 719 676-3396
 colocitymanager@ghvalley.net

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Property Owner: Kevin and Mary Krueger
 Mailing Address: PO Box 20253 City: Colorado City
 State: CO ZIP: 81019 Telephone: 920-342-9601

CONTRACTOR

Contractor: _____
 Mailing Address: _____ City: _____
 State: _____ ZIP: _____ Telephone: _____

Requested approval for: Commercial building Home Shed Fence Other: _____
10x16'

Lot: 97 Unit: 22 Legal address, (please verify with CC Metro District): 5809 Lake Beckwith Dr.

Type construction: _____ Mobile homes: New Used - Year built: _____
 Floor area square footage: _____ Square footage required by covenants: _____

REQUIRED ITEMS for submittal of application:

- Legal description of property with legal address defined as street name & number
- Plot plans to scale (indicate scale)
- Property line staked out corners
- Foundation plan and Building staked out **before** Excavation
- One (1) copy of blue print and One (1) electronic copy sent to manager
- Location of improvements on property - NOTE: front of house **must** face legal address
- Exterior dimensions - both primary and secondary buildings
- Elevations - front, back, sides
- Accurate setbacks drawn to scale (include easements)
- Distances between buildings
- Location of improvements (porches, decks, garages, carports, driveways, accessory buildings, landscaping)
- Location of propane tank, where applicable
- Location of street light (where required by covenants)
- Fence - type of materials, height, and locations
- Landscaping diagram (if not included in original plans, must be submitted later)
- Exterior color scheme, type of siding and roofing materials must be indicated

RECEIVED
 MAY 06 2021
 BY: _____

have read and agree to abide by the unit's protective covenants for which this application is submitted:

Property owner's signature: Kevin M Krueger Date: 5-6-2021

This application will not be accepted until you read and sign on reverse.

CONDITIONS APPLYING TO THIS APPLICATION

- It is clearly understood that the granting of architectural approval does not relieve the owner or building of compliance with Pueblo County Zoning Resolutions and/or Building Codes and Subdivision Regulations; It is also understood that the construction shall commence within 90 days of Colorado City Architectural Advisory Committee (CCAAC) approval. Actual construction period shall not exceed 180 days without committee approval. Failure to comply with these time limitations automatically terminates CCAAC approval. Any changes made to the submitted plans, either before or during construction, must be approved by CCAAC; or applying to the owner's unit. Copies of the covenants are available at the Colorado City Metropolitan District office or at www.colorado.gov/coloradocitymetro.
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CCAAC Fee Schedule

Please note that a check or money order for the appropriate amount must be included with your application

Commercial/Industrial	\$400.00
Multifamily Residential	\$300.00
New Single Family Residential	\$200.00
Sheds/Fences/Garages/Carports/Decks	\$ 40.00
Remodeling Residential	\$ 50.00
Re-Roofing	\$ 25.00

NOTE: A Late Fee amounting to double the original filing fee will be charged if filing application AFTER construction has begun. For instance, if filing after construction of a shed, that amount would be \$80 (\$40 application fee + \$40 late fee) and must accompany application.

I have read and understand the provisions of this application and understand that incomplete applications will be returned to me for the required information before being considered by CCAAC.

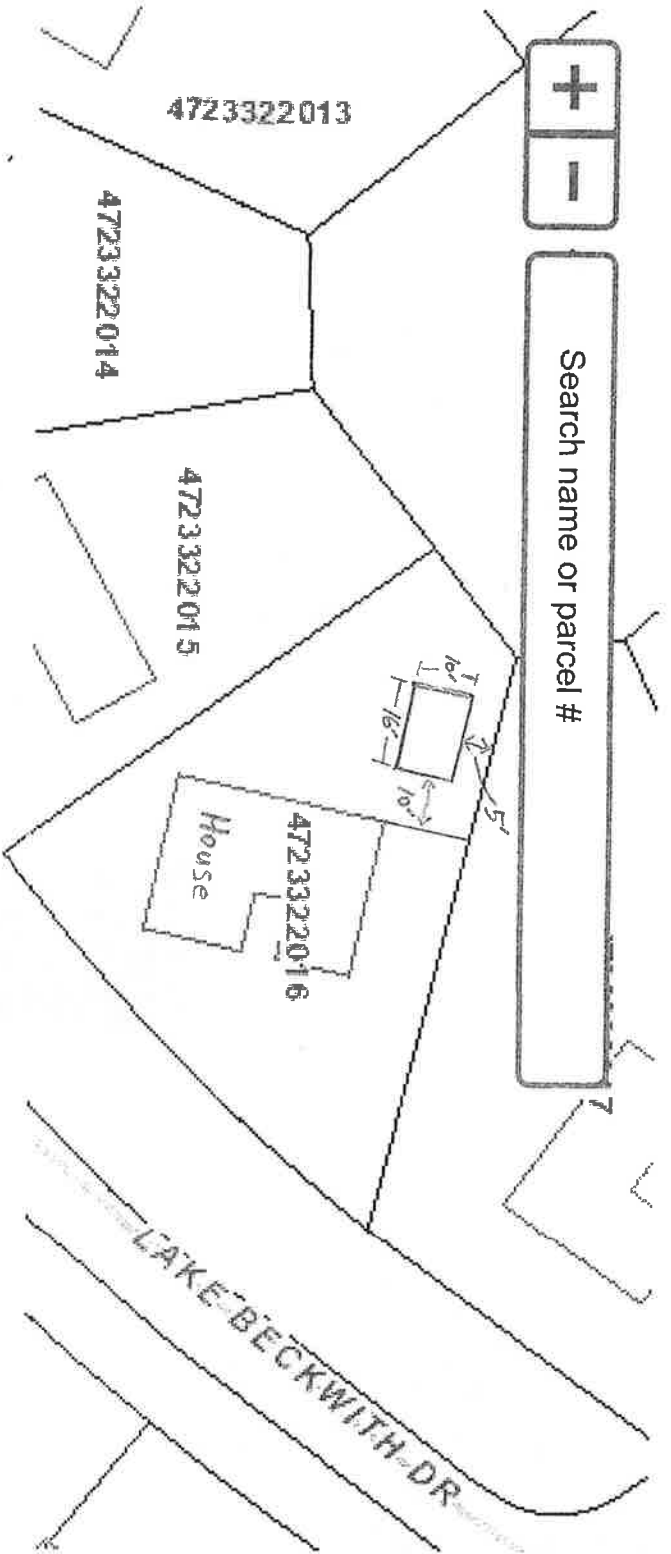
Property Owner Signature:



Date:

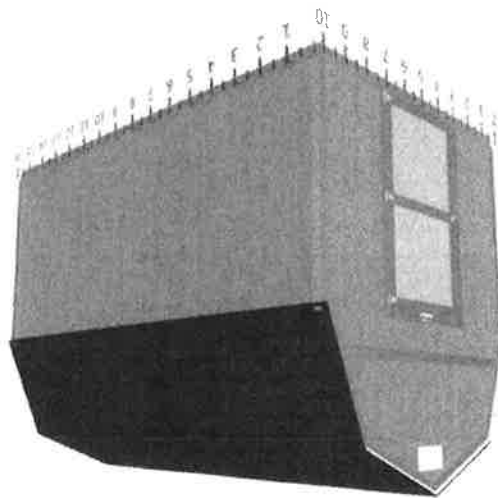
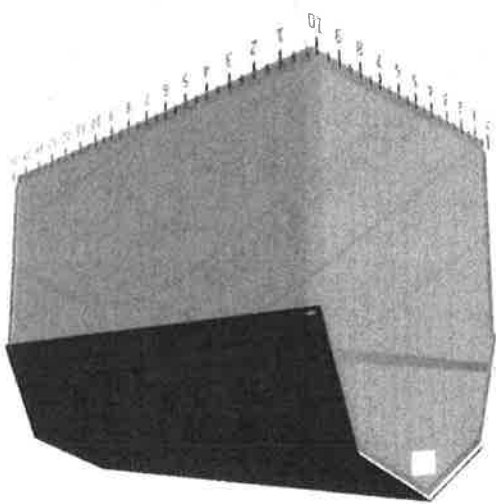
5-6-2021

[Layers](#) [Print](#) [Overview](#) [Legend](#) [Help](#)

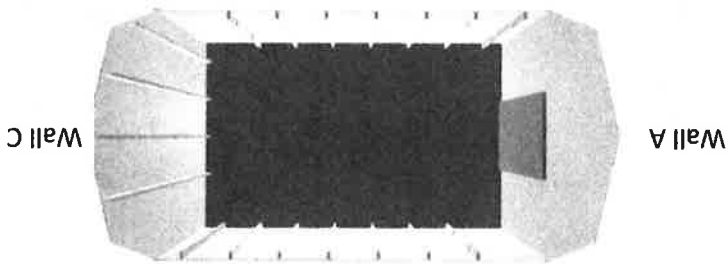


*Kevin and Mary Krueger
5809 Lake Beckwith Dr.*





Wall D



Wall B

Base Details

- Building Size & Style
Premier Tall Barn - 10' wide by 16' long *by 12'6" high*
- Paint Selection
Base: No Paint, Trim: No Paint
- Roof Selection
Charcoal Dimensional Premium Shingle
- Drip Edge
White

Options Details

- Doors
4' x 6'7" Single Shed Door, Right Hinge Placement
- Vents
2 Ea 16"x8" Wall Vent - White

Jobsite/Installer Details

- Do you plan to insulate this building after Tuff Shed installs it?
No
- Is there a power outlet within 100 feet of installation location?
Yes
- The building location must be level to properly install the building. How level is the install location?
Within 4" of level
- Will there be 24" of unobstructed workspace around the perimeter of all four walls?
Yes
- Can the installers park their pickup truck & trailer within approximately 200' of your installation site?
Yes
- Substrate Shed will be installed on?
Dirt/Gravel

 Signature: _____
 Date: _____



Colorado City Architectural Advisory Committee
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Property Owner: Willis Clark
 Mailing Address: Po Box 19232 City: Colorado City
 State: Co ZIP: 81019 Telephone: 303 330-217-9384
719-676-2138

CONTRACTOR
 Contractor: Lester Buildings x Bark Construction LLC
 Mailing Address: 750 K Street Penrose, Co, 81240-9526 City: Penrose
 State: Co ZIP: 81240-9526 Telephone: 720-201-6921

Requested approval for: Commercial building Home Shed Fence Other: Garage/Storage
R-1-200 R-20
Parcel A, Lot Line Vacation No. 2008-019
Parcel 47-234-03-003
 Lot: _____ Unit: _____ Legal address, (please verify with CC Metro District): 4939 St. Vrain Dr.

Type construction: Pole Uni-Frame-uni rib Mobile homes: New Used - Year built: _____
 Floor area square footage: 1600 Square footage required by covenants: _____

REQUIRED ITEMS for submittal of application:

- Legal description of property with legal address defined as street name & number
- Plot plans to scale (indicate scale)
- Property line staked out corners
- Foundation plan and Building staked out before Excavation
- One (1) copy of blue print and One (1) electronic copy sent to manager
- Location of improvements on property - NOTE: front of house must face legal address
- Exterior dimensions - both primary and secondary buildings
- Elevations - front, back, sides
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- Distances between buildings
- Location of improvements (porches, decks, garages, carports, driveways, accessory buildings, landscaping)
- Location of propane tank, where applicable
- Location of street light (where required by covenants)
- Fence - type of materials, height, and locations
- Landscaping diagram (if not included in original plans, must be submitted later)
- Exterior color scheme, type of siding and roofing materials must be indicated

Property owner's signature: [Signature] Date: 3/26/21
 I have read and agree to abide by the unit's protective covenants for which this application is submitted:

This application will not be accepted until you read and sign on reverse.

CONDITIONS APPLYING TO THIS APPLICATION

- It is clearly understood that the granting of architectural approval does not relieve the owner or building of compliance with Pueblo County Zoning Resolutions and/or Building Codes and Subdivision Regulations; It is also understood that the construction shall commence within 90 days of Colorado City Architectural Advisory Committee (CCAAC) approval. Actual construction period shall not exceed 180 days without committee approval. Failure to comply with these time limitations automatically terminates CCAAC approval. Any changes made to the submitted plans, either before or during construction, must be approved by CCAAC; or applying to the owner's unit. Copies of the covenants are available at the Colorado City Metropolitan District office or at www.colorado.gov/coloradocitymetro.
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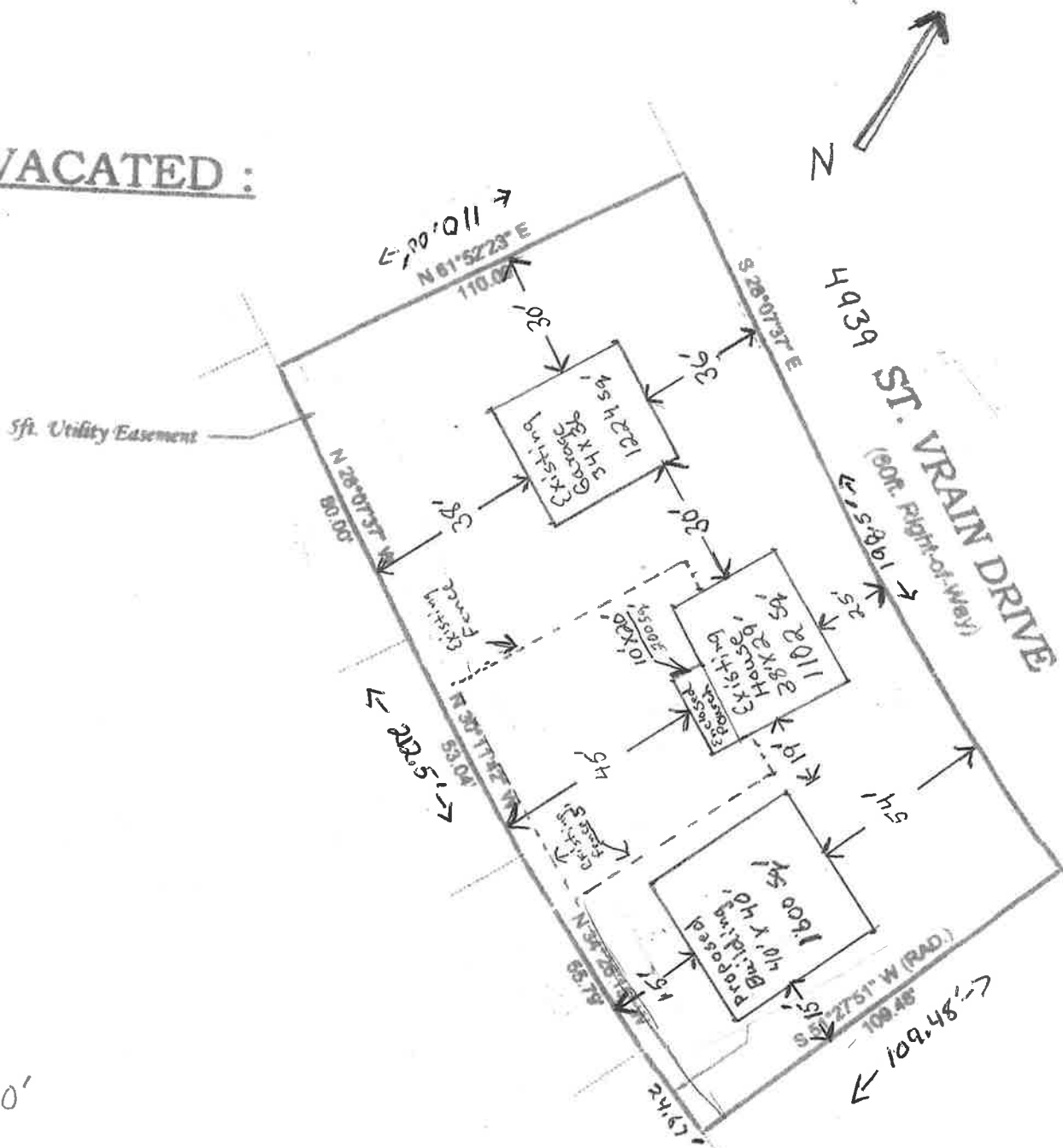
NOTE: A Late Fee amounting to double the original filing fee will be charged if filing application AFTER construction has begun. For instance, if filing after construction of a shed, that amount would be \$80 (\$40 application fee + \$40 late fee) and must accompany application.

I have read and understand the provisions of this application and understand that incomplete applications will be returned to me for the required information before being considered by CCAAC.

Property Owner Signature: _____

Date: _____

AS VACATED :



1/4" = 10'

47-234-03-003

Willis G. Clark

Parcel A, Lot Line Vacation No. 2008-019

Lot Sq' = 22,216 .51 acres

R-2 Zone District

ZONING SIGN-OFF FOR BUILDING PERMIT

To Be Completed By Applicant

Date: 3.26.21

Owner: William Clark

Contractor/Applicant: [Signature]

Address of Premises: 4939 S. Vrain Dr. Colorado City, Co. 81019

Legal Description of Property: Parcel A, Leasing Vacation No. 2008-019

Assessor's Parcel Number: 47-234-03-003

Zone District: R-2 Other Prior Zoning Actions: _____

Describe Existing Structures on Property: Single Family House & Garage

Describe other Land-Uses on the Property: None

NOTATION: Only one (1) Single Family Residence is allowed on a parcel or lot.

Proposed Use for This Property

Specify The Proposed Use: Storage of Cows, Lawn Tractor, Trailers

WILL DETACHED GARAGE/SHOPIBARN HAVE A BATHROOM: YES NO
IF YES, there will be no living quarters/residence in the structure.

BASEMENT: YES NO FINISHED UNFINISHED

CRAWL SPACE: YES NO

ALL REQUIREMENTS OR STANDARDS REFER TO THE "PUEBLO COUNTY CODE".

SECTION 17.04.030 - VIOLATIONS AND PENALTIES

(A) APPLICATION. It shall be unlawful to erect, construct, reconstruct, alter, maintain, or use any building or structure or to use any land in violation of the provisions of these regulations or any amendment thereof. Any person, firm, or corporation, either as owner, lessee, occupant, or otherwise, who violates any of the provisions of these regulations or any amendment thereof shall be guilty of a misdemeanor.

(B) PENALTIES. The violation of any provision of these Zoning Regulations shall be punishable as provided by law. Each day or portion thereof, any violation of any provision of these regulations shall constitute a separate offense.

Standards For This Zone District

SINGLE-FAMILY RESIDENTIAL (R-2) ZONE DISTRICT

Code Requirement or Standard

Actual

Lot Area: min. 5,600 square feet 22,216

Lot Dimensions: min. 60' x 90' 212.5' X 190.5' X 110' X 109.48'

Lot Coverage: max. 50% 11.37%

Floor Area Ratio: no requirement

Building Height: max. 35' 22.67'

Front Yard Setback: min. 25' (except as provided in Chapter 17.120) 54'

Side Yard Setback: principal=min. 15' w/min. 5' on one side; acc.=min. 5' (except as provided in Section 17.120.020 C) 15'

Rear Yard Setback: principal=min. 15'; acc.bldg.=min.5' (except as provided in Section 17.120.020 C) 15'

Setbacks Between Buildings: min. 5' (except as provided in Section 17.120.020 B) 19'

Parking Spaces: see Chapter 17.112 None

Loading Space: no requirement

Fences, Walls, Hedges: see Section 17.120.160 None additional

Signs: see Chapter 17.115 None

APPLICANT SIGNATURE:

[Signature]
I attest that the information I have provided is true and correct to the best of my knowledge.

To Be Completed By Staff

Floodplain Location: YES/NO FEMA Panel No.: _____

Has the property been researched for compliance with Subdivision Regulations _____

Reviewed By: _____ Date: _____

Comments: _____



Colorado City Architectural Control Committee

P.O. Box 19654

Colorado City, Colorado 81019

APPLICATION FORM

Application will be considered for review only if it has been fully completed and received at the Colorado City Metropolitan District office or mailed to and received at the above address by 3 PM on the Tuesday prior to the next regular meeting. All applications must be accompanied by a check or money order made out to "CCACC" in the amount appropriate to the fee schedule featured on the back of this application.

Property Owner: Becky Cavender

Mailing Address: 4419 W Jefferson Colorado City: Colorado city

State: Colorado ZIP: Telephone:

CONTRACTOR

Contractor: Joe Padilla

Mailing Address: 36418 Harbour Rd City: Avondale

State: Colo ZIP: 81022 Telephone: 719-251-8048

Requested approval for: PC-RE-1 CC - Single Family Ranch [] Commercial building [] Home [] Shed [x] Fence [] Other:

Lot: 498 Unit: 9 Legal address (please verify with CC Metro District): 4419 W. Jefferson

Type construction: 6' Cedar Fences Mobile homes: [] New [] Used - Year built:

Floor area square footage: Square footage required by covenants:

REQUIRED ITEMS for submittal of application:

- Legal description of property with legal address defined as street name & number
Plot plans to scale (indicate scale)
Foundation plan
Three (3) copies of blue print
Location of improvements on property - NOTE: front of house must face legal address
Exterior dimensions - both primary and secondary buildings
Elevations - front, back, sides
Accurate setbacks drawn to scale (include easements)
Distances between buildings
Location of improvements (porches, decks, garages, carports, driveways, accessory buildings, landscaping)
Location of propane tank, where applicable
Location of street light (when required by covenants)
Fence - type of materials, height and locations
Landscaping diagram (if not included in original plans, must be submitted later)
Exterior color scheme, type of siding and roofing materials must be indicated

I have read and agree to abide by the unit's protective covenants for which this application is submitted:

Property owner's signature: [Signature] Date: 4/12/21

This application will not be accepted until you read and sign on reverse

CONDITIONS APPLYING TO THIS APPLICATION

- It is clearly understood that the granting of architectural approval does not relieve the owner or building of compliance with Pueblo County Zoning Resolutions and/or Building Codes and Subdivision Regulations. It is also understood that the **construction shall commence within 90 days of Colorado City Architectural Control Committee (CCACC) approval**. Actual construction period shall not exceed **180 days without Committee approval**. Failure to comply with these time limitations automatically terminates CCACC approval. Any changes made to the submitted plans, either before or during construction, **must** be approved by CCACC or approval will be terminated. It is the responsibility of the owner to obtain a copy of the **Protective Covenants** applying to the owner's unit. Copies of the covenants are available at the Colorado City Metropolitan District office.
- Complete information concerning this application and construction requirements is included in the CCACC Handbook, which may be obtained at the Colorado City Metropolitan District office; please refer to it before submitting application.
- **Preliminary plans should be brought before CCACC for approval**. Three (3) complete sets of plans and specifications for construction, including all required items listed on the opposite side of this page, **must** be submitted for approval. Drawings must be professionally prepared and acceptable for the Pueblo Regional Planning Department.
- CCACC meets the first and third Tuesdays of each month. After reviewing plans and specifications, CCACC will approve the submitted plans by the next regular meeting (providing all requirements have been met). The Committee will retain one (1) set of approved plans and will return two (2) sets to the property owner for use in security the Building Permit. *Incomplete applications will not be placed on a meeting agenda but will be returned to property owners for completion of missing information.*
- To preclude delay in your application being accepted, you or your appointed representative are highly encouraged to be present at the regular meeting when your application is reviewed.
- Construction must not commence until you have received a Letter of Approval from CCACC. As stated above, omissions of any information will delay the approval process. All construction must be confined to the lot listed on the reverse side of this document. Greenbelts and adjacent lots must not be used as access or storage during construction.
- **Those applicants wishing to place factory built homes in Colorado City – APPLY BEFORE YOU BUY.** CCACC adopted *Resolution 97-1*, which applies to all factory built homes in Colorado City. You need to be aware of the limitations within R97-1 before you purchase a factory built home.
- **CCACC is not responsible for any monetary losses you incur;** therefore, you are encouraged to obtain approval before proceeding with construction or purchases affected by this application.


CCACC Fee Schedule

Please note that a check or money order for the appropriate amount must be included with your application

Commercial/Industrial	\$400.00	Sheds/Fences/Garages/Carports	\$40.00
Multiple-family Residential	\$300.00	Remodeling Residential	\$50.00
New Single Family Residential	\$200.00	Re-Roofing	\$25.00

NOTE: A Late Fee amounting to *double the original filing fee* will be charged if filing application AFTER construction has begun. For instance, if filing after construction of a shed, that amount would be \$80 (\$40 application fee + \$40 late fee) and must accompany application.

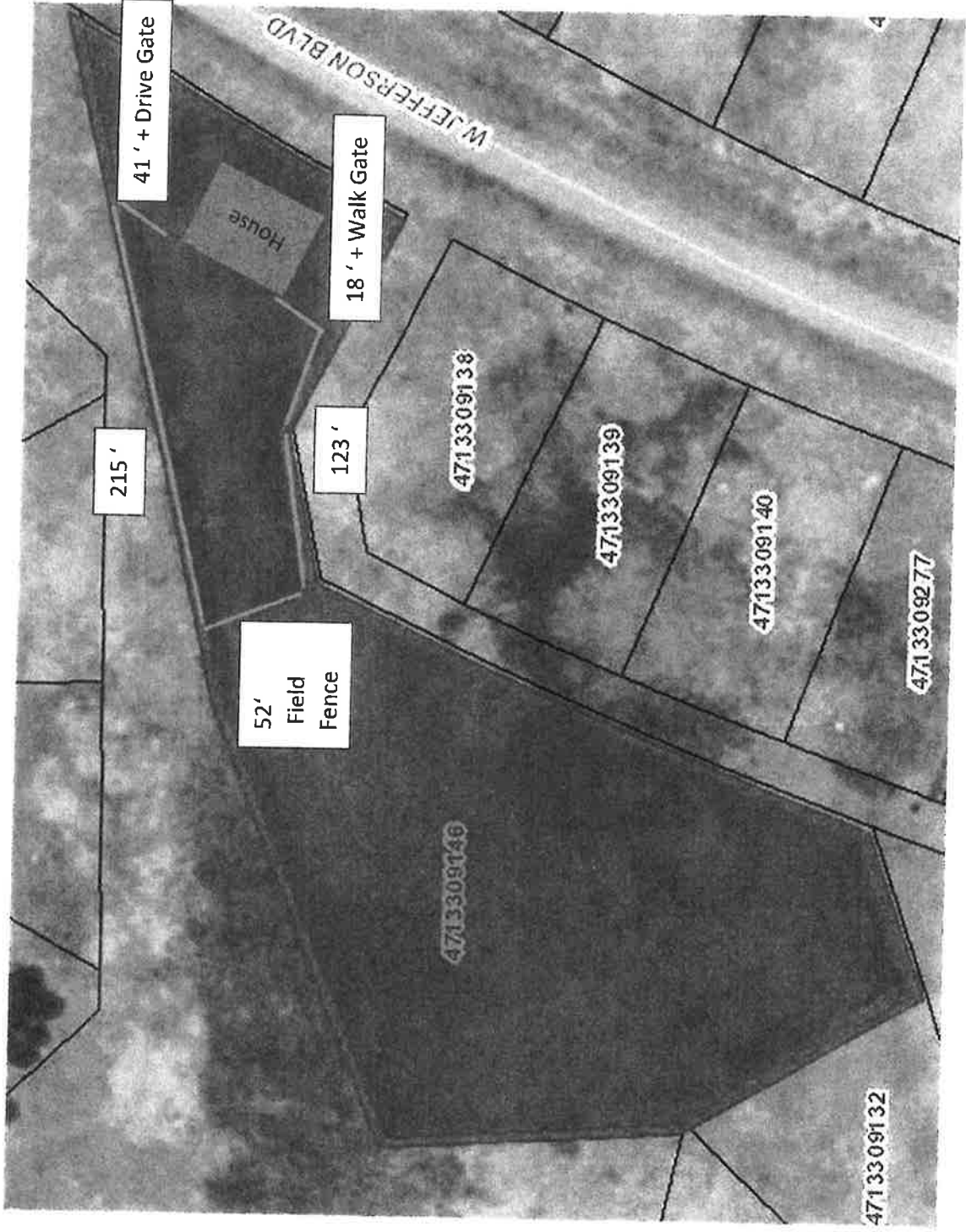
I have read and understand the provisions of this application and understand that incomplete applications will be returned to me for the required information before being considered by CCACC.

Property Owner Signature: _____  Date: 4/12/21

Owner: Becky Cavender Address: 4419 E Jefferson Colorado City

Drawing of Proposed Fencing Quote 2021

Contractor: Joseph Padilla (719)251-8048



397' total
6 ft Cedar
Master
Halco
Metal Post

52' total
Field
Fence
Back
T post



Colorado City Architectural Advisory Committee
 P.O. Box 20229
 Colorado City, Colorado 81019
 719 676-3396
 colocitymanager@ghvalley.net



Application will be considered for review only if it has been fully completed and received at the Colorado City Metropolitan District office or mailed to and received at the above address by 3p.m. on the Wednesday prior to the next regular meeting. All applications must be accompanied by a check or money order made out to "CCAAC" in the amount appropriate to the fee schedule featured on the back of this application.

Property Owner: Rebecca + Jacob Thompson
 Mailing Address: PO Box 19099, 1926 Beverly Dr City: Colorado City
 State: CO ZIP: 81019 Telephone: 719-728-5981

CONTRACTOR

Contractor: _____
 Mailing Address: _____ City: _____
 State: _____ ZIP: _____ Telephone: _____

Requested approval for: Commercial building Home Shed Fence Other: _____
TC - R-1 CC - R1/2

Lot: 4 Unit: 29 Legal address, (please verify with CC Metro District): 1926 Beverly Drive

Type construction: shed/fence Mobile homes: New Used - Year built: _____

Floor area square footage: 88 Square footage required by covenants: _____

REQUIRED ITEMS for submittal of application:

- Legal description of property with legal address defined as street name & number
- Plot plans to scale (indicate scale)
- Property line staked out corners
- Foundation plan and Building staked out ~~before~~ Excavation
- One (1) copy of blue print and One (1) electronic copy sent to manager
- Location of improvements on property - NOTE: front of house must face legal address
- Exterior dimensions - both primary and secondary buildings
- Elevations - front, back, sides
- Accurate setbacks drawn to scale (include easements)
- Distances between buildings
- Location of improvements (porches, decks, garages, carports, driveways, accessory buildings, landscaping)
- Location of propane tank, where applicable
- Location of street light (where required by covenants)
- Fence - type of materials, height, and locations
- Landscaping diagram (if not included in original plans, must be submitted later)
- Exterior color scheme, type of siding and roofing materials must be indicated

have read and agree to abide by the unit's protective covenants for which this application is submitted:

Property owner's signature: Jacob P. Thompson Date: 04/29/21

This application will not be accepted until you read and sign on reverse.

CONDITIONS APPLYING TO THIS APPLICATION

- It is clearly understood that the granting of architectural approval does not relieve the owner or building of compliance with Pueblo County Zoning Resolutions and/or Building Codes and Subdivision Regulations; It is also understood that the construction shall commence within 90 days of Colorado City Architectural Advisory Committee (CCAAC) approval. Actual construction period shall not exceed 180 days without committee approval. Failure to comply with these time limitations automatically terminates CCAAC approval. Any changes made to the submitted plans, either before or during construction, must be approved by CCAAC; or applying to the owner's unit. Copies of the covenants are available at the Colorado City Metropolitan District office or at www.colorado.gov/coloradocitymetro.
- Preliminary plans should be brought before CCAAC for approval. One (1) complete set of plans and specifications for construction, including all required items listed on the opposite side of this page, must be submitted for approval. Drawings must be professionally prepared and acceptable for the Pueblo Regional Planning Department.
- CCAAC meets the first and last Tuesdays of each month. After reviewing plans and specifications, CCAAC will approve the submitted plans by the next regular meeting (providing all requirements have been met). The Committee will retain one (1) set of approved plans. Incomplete applications will not be placed on a meeting agenda but will be returned to property owners for completion of missing information.
- Construction must not commence until you have received a Letter of Approval from CCAAC. As stated above, omissions of any information will delay the approval process. All construction must be confined to the lot listed on the reverse side of this document. Greenbelts and adjacent lots must not be used as access or storage during construction.
- CCAAC is not responsible for any monetary losses you incur; therefore, you are encouraged to obtain approval before proceeding with construction or purchases affected by this application.

CCAAC Fee Schedule

Please note that a check or money order for the appropriate amount must be included with your application

Commercial/Industrial	\$400.00
Multifamily Residential	\$300.00
New Single Family Residential	\$200.00
Sheds/Fences/Garages/Carports/Decks	\$ 40.00
Remodeling Residential	\$ 50.00
Re-Roofing	\$ 25.00

NOTE: A Late Fee amounting to double the original filing fee will be charged if filing application AFTER construction has begun. For instance, if filing after construction of a shed, that amount would be \$80 (\$40 application fee + \$40 late fee) and must accompany application.

I have read and understand the provisions of this application and understand that incomplete applications will be returned to me for the required information before being considered by CCAAC.

Property Owner Signature:

Jacob V. Lang

Date:

09/29/21

ST. HWY. 165 (100' R.O.W.)

L=76.04'
R=2815.00'

P.U.E.

06.

FOUND NO. 4 REBAR W/YELLOW
PLASTIC CAP #38103

OT 3

S31° 08' 40" E 132.81'

LOT 4

LOT 5

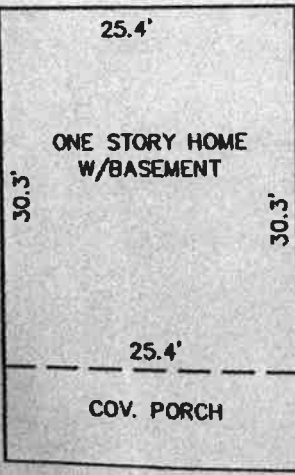
proposed fence w/ door (decorative gate
tee hinge + latch)
to be stained same color as the
house. See samples of online ideas
that we propose to duplicate to
the size of 134.5" x 96.5" @ 6ft tall
to conceal gardening

Supplies, HVAC system
and a small bike and
stroller

HVAC

23.4'

25.4'



ONE STORY HOME
W/BASEMENT

25.4'

COV. PORCH

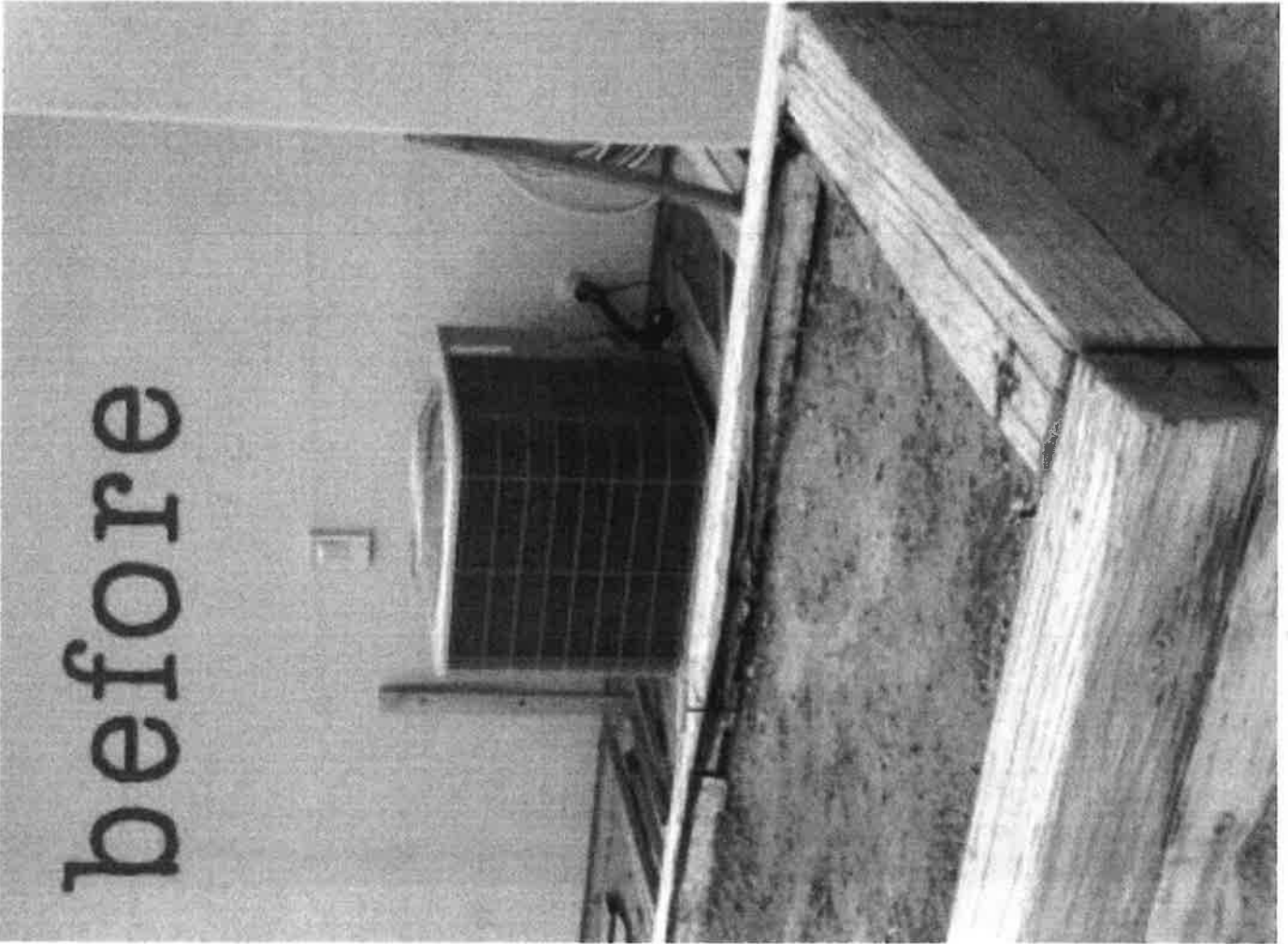
32.7'

N28° 31' 23" W 130.72'

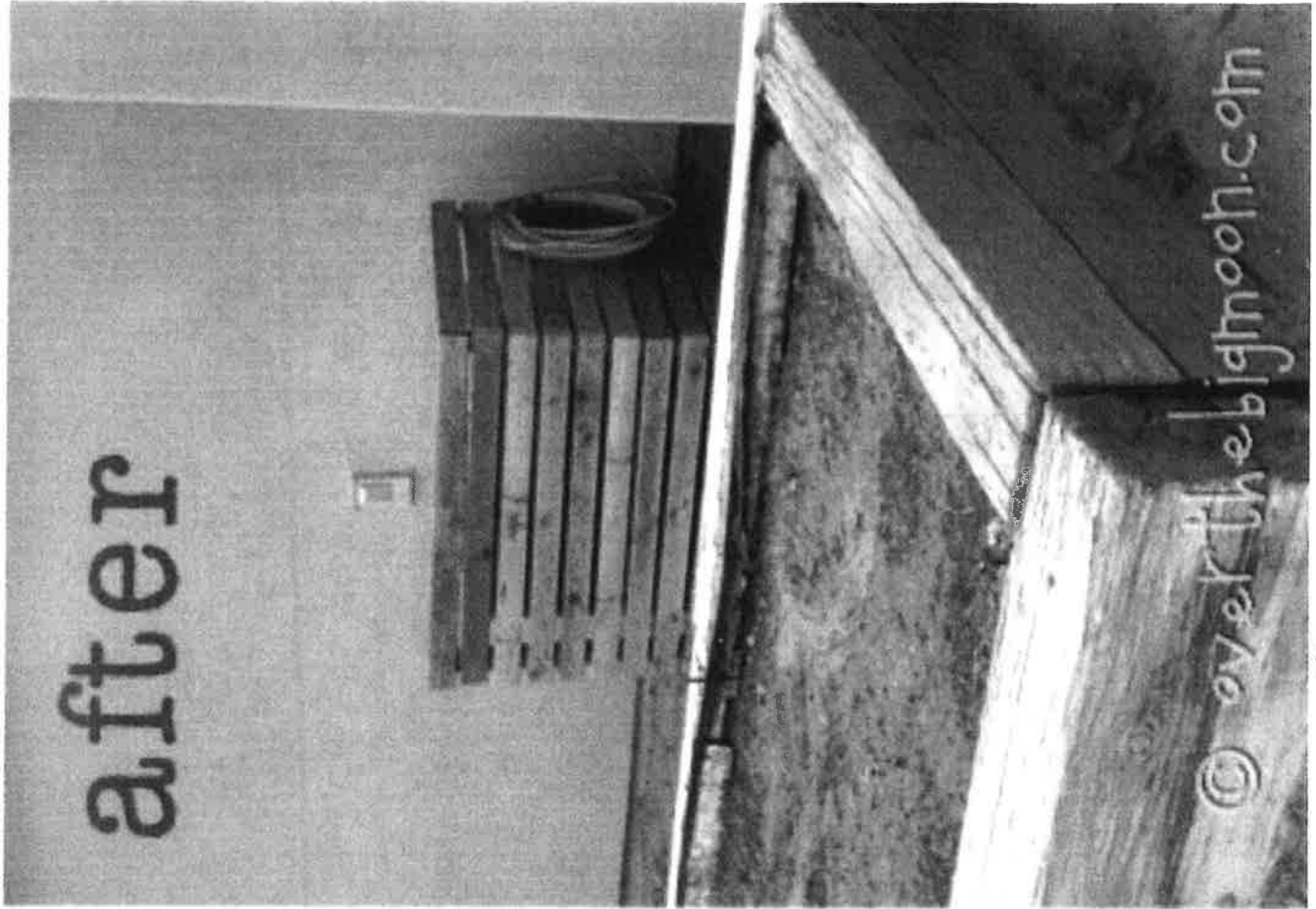
L=69.99'
R=1530.00'

BEVERLY DR. (60' R.O.W.)

before



after



idea online used for example only

2020 Citizen Complaint Log Page 1

Log #	Control Date	Source	Lot #	Unit #	House #	Street Name	Reference #	Code	Complaint
C1	20200430	W	28	20	2812	Applewood Dr.	4617320052	T-1	Dumpster at street
C2	20200430	W	27	20	2916	Applewood Dr.	4617320137	T-1	Dumpster at street
C3	2020430	W	220	20	2917	Applewood Dr.	4617320147	T-1	Dumpster at street
C4	2020430	W	26	20	2920	Applewood Dr.	4617320138	T-1	Dumpster at street
C5	20200430	W	72	20	2799	Blue Spruce Dr.	7370110132	T-1	Dumpster at street
C6	20200430	W	214	20	2861	Applewood Dr.	4617320048	A-2	Unlicensed Vehicles
C7	20200430	W	41	26	3032	Lunar	4617326033	T-1	Dumpster at street
C8	20200430	W	16	26	3197	Lem St.	4617326016	A-2	Unlicensed Vehicles
C9	20200430	W	190	20	2789	Applewood Dr.	4617320063	T-1	Dumpster at street
C10	20200430	W	202	20	2885	Applewood Dr.	7370110100	T-1	Dumpster at street
C11	20200430	W	24	20	2928	Applewood Dr.	4617320140	T-1	Dumpster at street
C12	20200430	W	207	20	2836	Applewood Ct.	4617320151	T-1	Dumpster at street
C13	20200501	M	142	21		Showalter Dr.	4726121055	V-2	Camper on vacant lot
C14	20200507	M	312	30		Camelot Dr	4734330309	L-1	Bldg Materials on vacant lot
C15	20200521	B	295	21	4377	Showalter Dr.	4726221051	V-2	Vehicle, Destroyed RV , Trash
C16	20200521	B	421	24		Estelle	4735324006	V-2	Camper, Trash, Building?
C17	20200521	B	58	23	4706	Virginia St.	4735323066	T-1	Trash
C18	20200521	B	369	30		Estelle	4734430190	V-2	Camper, Container, Fence
C19	20200521	B	93	24		Patsy Circle & Pinto	4735324283	T-1	Trash
C20	20200521	B	321	24		Patsy Circle	4735324175	V-2	Abandoned Travel Trailer
C21	20200521	B	218	45		Liloets Dr & Athap	4736345010	T-1	Scattered Trash
C22	20200521	B	297	24		Ruth Place	4735424089	V-2	Abandoned Travel Trailer
C23	20200521	B	59	24		Estelle	4735324287	T-1	Trash
C24	20200521	B	609	5		Cibola	472520519	V-2	Camper?
C25	20200528	C	1285	14	4396	Jefferson	4618414128	S-4	Permanent Storage Container
C26	20201111		143	20	4755	Sante Fe	4714402180	O	chickens
C27	20210409		293	45	2980	Blue Spruce Dr.	4617320194	T-1	Camper on vacant lot Trash
C28	20210409		295	3		Culpepper Drive	4736445073	V-2	Camper, unlicensed Vehicle
C29	20210409			3	4072	Cibola Drive	4726103043	B-1	New Shed/New roof no app to CCAAC
C30	20210409			24	3958	ST HWY 181	4726403243	B-1	Building Shed coop for farm animals
C31	20210408		19	20		Glaz Court		V-2	Camper Trash

Log# 2020	Date	Reference #	House #	Street Name	Com- plaint Code	Date Referred to CCAAC	Date Ref to Planning	Complete Date	Status	Good neighbor	2nd letter
C1	20200430	4617320052	2812	Applewood Dr.	T-1	20200521			completed		
C2	20200430	4617320137	2916	Applewood Dr.	T-1	20200521			completed	11/14/2020	
C3	20200430	4617320147	2917	Applewood Dr.	T-1	20200521			completed	11/14/2020	
C4	20200430	4617320138	2920	Applewood Dr.	T-1	20200521				11/14/2020	5/7/2021
C5	20200430	7370110132	2799	Blue Spruce Dr.	T-1	20200521				11/14/2020	5/7/2021
C6	20200430	4617320048	2861	Applewood Dr.	A-2	20200521			completed	11/14/2020	
C7	20200430	4617326033	3032	Lunar Dr.	T-1	20200521			completed	11/14/2020	
C8	20200430	4617326016	3197	Lem St.	A-2	20200521				5/7/2021	returned
C9	20200430	4617320063	2789	Applewood Dr.	T-1	20200521		11/16/20	completed	n/a	
C10	20200430	7370110100	2885	Applewood Dr.	T-1	20200521			In Review	11/14/2020	5/7/2021
C11	20200430	4617320140	2928	Applewood Dr.	T-1	20200521			In Review	11/14/2020	5/7/2021
C12	20200430	4617320151	2836	Applewood Ct.	T-1	20200521		11/19/20	completed	n/a	
C13	20200501	4726121055			V-2	20200521		11/19/20	completed	n/a	
C14	20200507	4734330309			L-1	20200521					5/7/2021
C15	20200521	4726221051	4377	Showalter Dr.	V-2	20200521		4/11/21	completed	n/a	
C16	20200521	4735324006		Estelle	V-2	20200521				2/18/2021	
C17	20200521	4735323066	4706	Virginia St.	T-1	20200521			In Review	2/18/2021	
C18	20200521	4734430190		Estelle	V-2	20200521		11/19/20	completed	n/a	
C19	20200521	4735324283		Patsy Circle & Pinto	T-1	20200521			In Review	2/18/2021	
C20	20200521	4735324175		Patsy Circle	V-2	20200521			In Review	2/18/2021	
C21	20200521	4736345010		Lilooets Dr & Athap	T-1	20200521		11/19/20	completed	n/a	
C22	20200521	4735424089		Ruth Place	V-2	20200521			In Review	2/18/2021	
C23	20200521	4735324287		Estelle	T-1	20200521			In Review	2/18/2021	
C24	20200521	4725205019		Cibola	V-2	20200521		11/19/20		n/a	
C25	20200528	4618414128	4396	Jefferson	S-4	20200528			under review	n/a conex	
C26	20201119	4714402180	4755	Sante Fe	O	20201119			In Review	5/7/2021	returned
C27	20201111	4617320194	2980	Blue Spruce Dr.	T-1	20201119			working on	2/18/2021	
C28	20210409	4736445073		Culpepper Drive	V-2	20210309			review		5/7/2021
C29	20210409	4726103043	4072	Cibola Drive	B-1	20210309			review		5/7/2021
C30	20210409	4726403243	3958	ST HWY 181	B-1	20210309			review		5/7/2021
C31	20210409			Glaz Court	V-2	20210309			completed		
C32	20210408	4620220013	2948	Applewood Drive	T-1	20210409			review		5/7/2021
C33	20210108	4726221051	4377	Showalter Dr.	V-2	20210107		4/11/21	completed		2/18/2021
C34	20210414	4725206144	5286	Adams Place	U-1	20210414			completed		5/7/2021
C35	20210108	4734125271	6827	Sunset Place	V-2	20210107		4/11/21	completed		2/18/2021

